

Village of Fair Haven

*New York Main Street Program
Selected Building Improvements*

 in.site:architecture

*Crunchy Banana
Studio*



Facade Recommendations

Hanford Inn

530 Main Street
Fairhaven, NY 13064

Paint Selection: Valspar Historic Preservation Colors

 Woodlawn Dewkist 7004-11 (or match existing)

 Belle Grove Brass 3010-4

Exterior Recommendations:

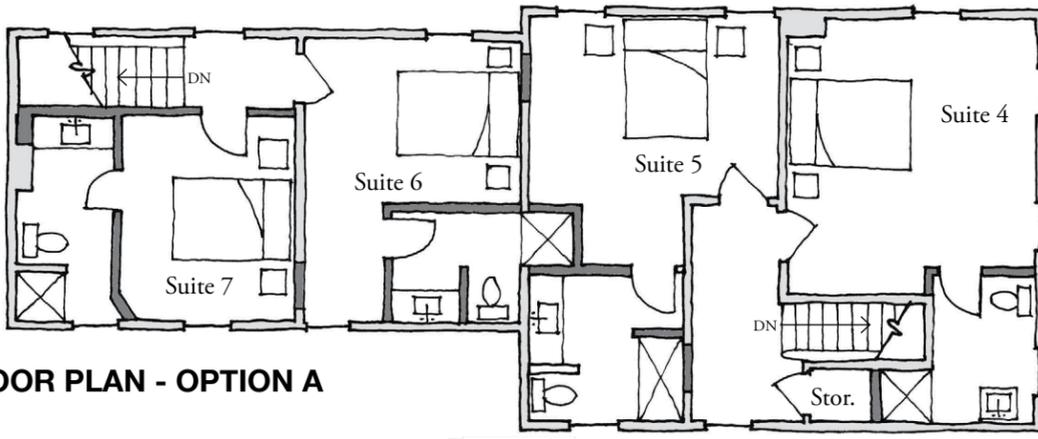
1. Provide hanging wrought iron perpendicular signage with integrated lighting.
 2. Provide stone paver walkway from main street to side entrance.
 3. Repair and repaint existing wood siding
 4. Select a new (2) color scheme from historic color palettes.
- provide new wood or aluminum clad wood windows (south and west facades).
 - Provide new entry door.
 - reconfigure and paint existing wood framed stair, deck and guardrail (south side);
 - provide new vertical platform lift (south side);



Historic Photograph

Existing Conditions



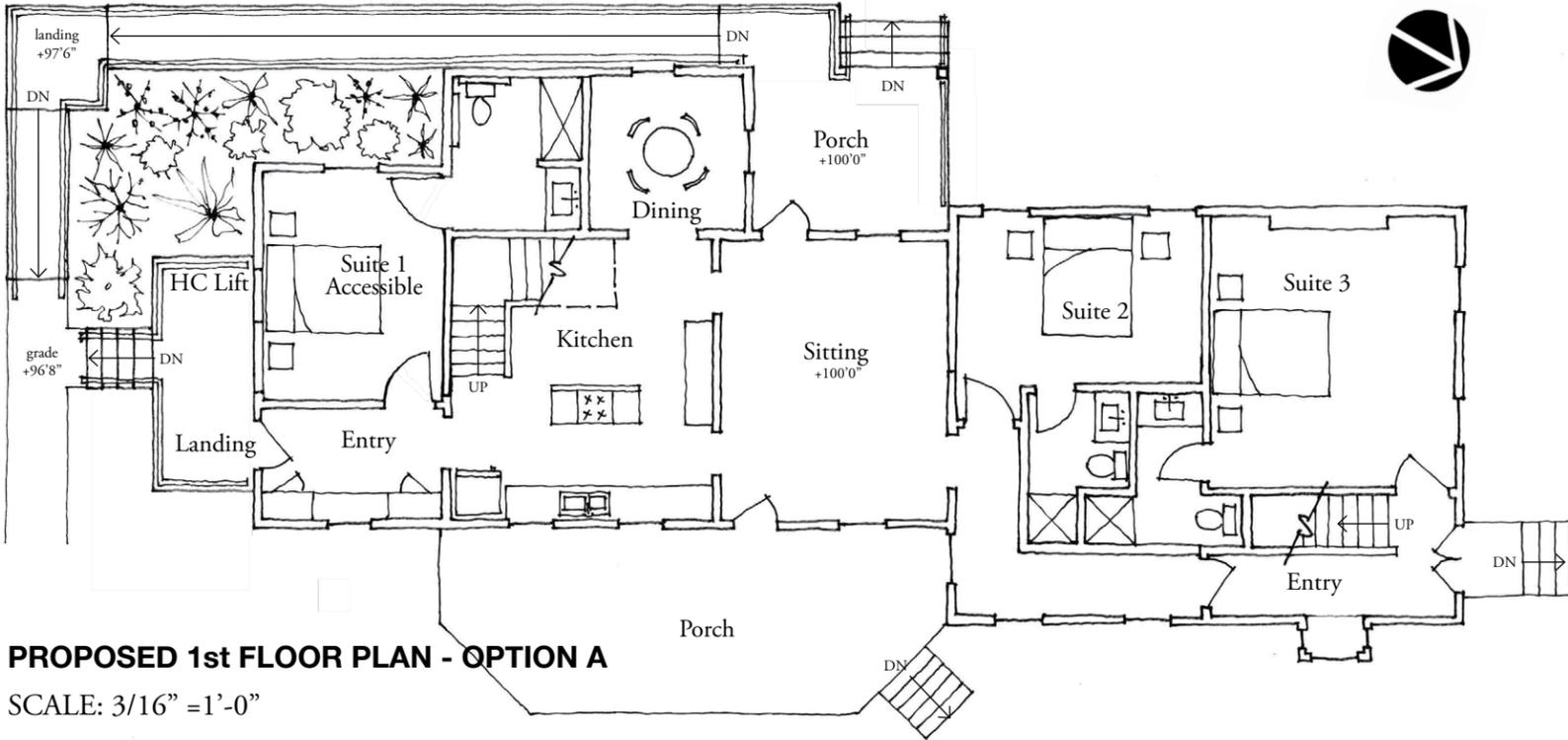


PROPOSED 2nd FLOOR PLAN - OPTION A

SCALE: 3/16" = 1'-0"

EXISTING:
First Floor
 Residential (R-3 Occupancy)
Second Floor
 Residential (R-3 Occupancy)

PROPOSED:
First Floor
 Inn (R-1 Occupancy)
Second Floor
 Inn (R-1 Occupancy)



PROPOSED 1st FLOOR PLAN - OPTION A

SCALE: 3/16" = 1'-0"

Interior Renovations Option A

Hanford Inn
 530 Main Street
 Fairhaven, NY 13064

OVERVIEW:

This Main Street property is an existing 2,700 square foot, two-story, single-family residence dating to the 1890's with a significant addition dating to the early 1900's. The residence is deemed eligible for the New York State National Register of Historic Places, but is not currently listed. It is currently occupied and has access to off-street parking and sees significant pedestrian and vehicular traffic due to its location on Main Street. Fair Haven is a desired tourist location in the summer months with a demand for temporary, transient housing.

OUR PROPOSALS:

All of our recommendations would be suitable for a New York Main Street Grant-funded project, and have been developed with The Secretary of the Interior's Standards in mind. The existing residence will be renovated to create seven (7) new Inn suites, each with its own bathroom. Three (3) units on the first floor and four (4) units on the second floor. The existing Kitchen and Living Room will serve as shared amenities within the new Inn. One (1) of the suites will be fully accessible and will be accessed via a ramp located at the rear (South & West) sides of the residence. New sprinklers are required throughout.

We would suggest providing adequate, convenient and safe parking for the Inn suites, a minimum of (1) on-site parking space for each Inn suite is required. The constraints of the site will require coordination with the Village to address zoning and parking requirements. You have indicated that there is an adjacent vacant lot that could be acquired as well.

EXTERIOR:

Recommendations for restoration of the exterior are shown in part on the facade sketch. These include:

- provide new wood or aluminum clad wood windows (south and west facades);
- provide new entry door (south side);
- reconfigure and paint existing wood framed stair, deck and guardrail (south side);
- provide new painted wood framed ramp (South & West sides);
- provide new painted wood framed stair, deck and guardrail (west side);
- provide new signage with individual raised letters and exterior lighting;
- paint entire exterior with a new (2) color scheme selected from historic color palettes.

COST ESTIMATING:

We are providing the following order-of-magnitude construction cost estimates for the purposes of determining general feasibility of the project, and for pursuing initial funding, tenant and business-plan development.

These are based on our own experience with a wide variety of recent rehab projects in different markets, with different levels of restoration. They do not reflect direct owner involvement and so are not specific in terms of the level of quality for interior and exterior finishes.

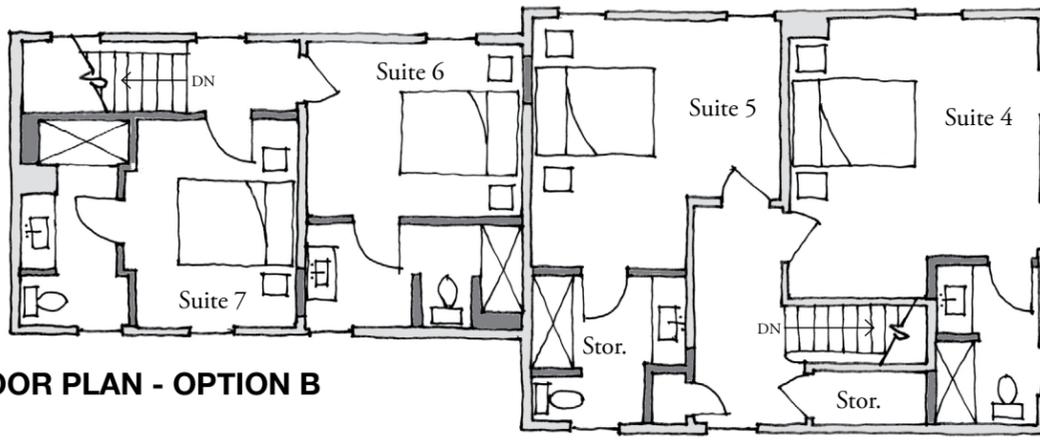
Additional elements that can influence project cost include: construction climate, owner schedule, pursuit of historic preservation tax credits, access to grant funding, etc.

FIRST FLOOR RENOVATIONS: \$87,000 - \$106,500

SECOND FLOOR RENOVATIONS: \$53,000 - \$64,500

EXTERIOR: \$40,000 - \$52,000*

* Includes accessible ramp



PROPOSED 2nd FLOOR PLAN - OPTION B

SCALE: 3/16" = 1'-0"

EXISTING:

First Floor

Residential (R-3 Occupancy)

Second Floor

Residential (R-3 Occupancy)

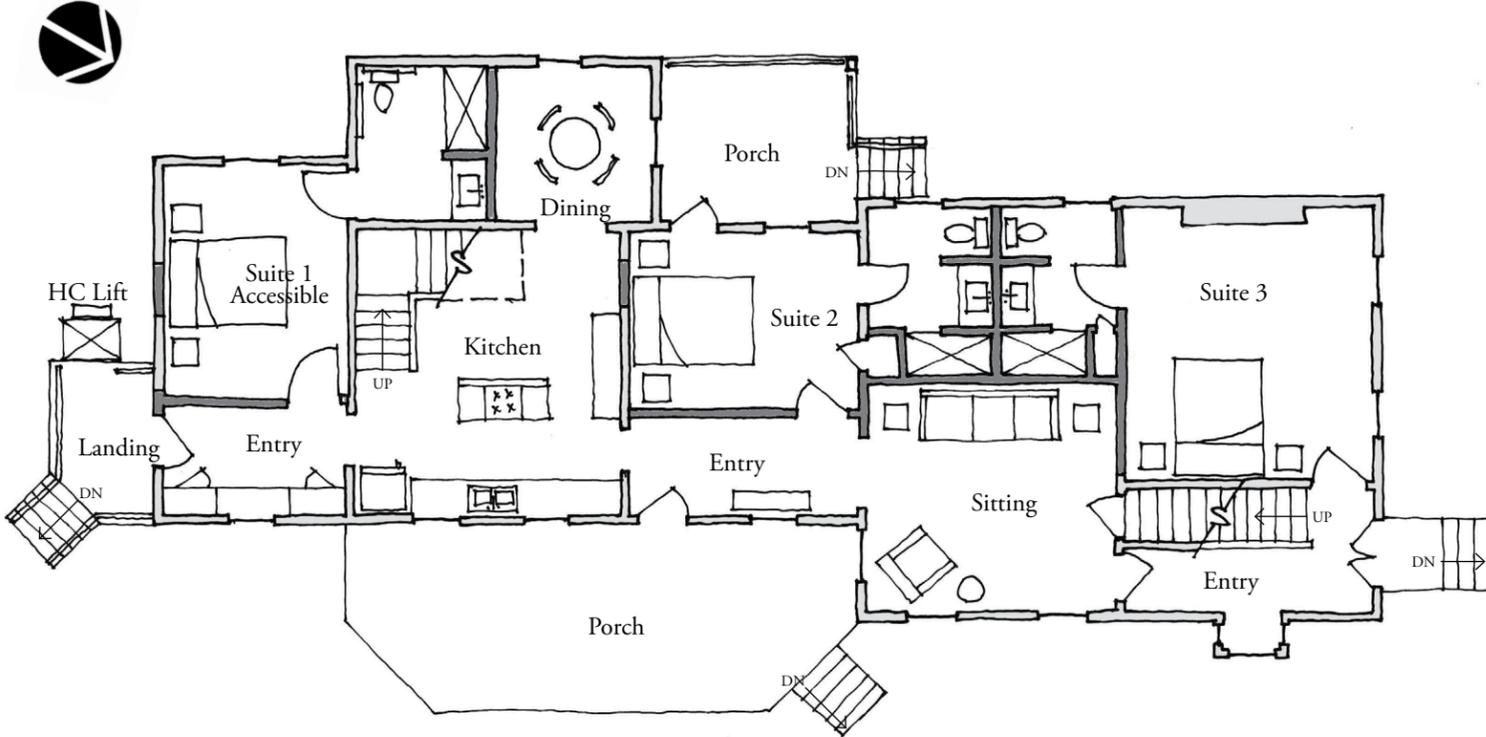
PROPOSED:

First Floor

Inn (R-1 Occupancy)

Second Floor

Inn (R-1 Occupancy)



PROPOSED 1st FLOOR PLAN - OPTION B

SCALE: 3/16" = 1'-0"

Interior Renovations Option B

Hanford Inn

530 Main Street
Fairhaven, NY 13064

OVERVIEW:

This Main Street property is an existing 2,700 square foot, two-story, single-family residence dating to the 1890's with a significant addition dating to the early 1900's. The residence is deemed eligible for the New York State National Register of Historic Places, but is not currently listed. It is currently occupied and has access to off-street parking and sees significant pedestrian and vehicular traffic due to its location on Main Street. Fair Haven is a desired tourist location in the summer months with a demand for temporary, transient housing.

OUR PROPOSALS:

All of our recommendations would be suitable for a New York Main Street Grant-funded project, and have been developed with The Secretary of the Interior's Standards in mind. The existing residence will be renovated to create seven (7) new Inn suites, each with its own bathroom. Three (3) units on the first floor and four (4) units on the second floor. The existing Kitchen and Living Room will serve as shared amenities within the new Inn. One (1) of the suites will be fully accessible and will be accessed via a new vertical platform lift located at the rear (south) side of the residence. New sprinklers are required throughout.

We would suggest providing adequate, convenient and safe parking for the Inn suites, a minimum of (1) on-site parking space for each Inn suite is required. The constraints of the site will require coordination with the Village to address zoning and parking requirements. You have indicated that there is an adjacent vacant lot that could be acquired as well.

EXTERIOR:

Recommendations for restoration of the exterior are shown in part on the facade sketch. These include:

- provide new wood or aluminum clad wood windows (south and west facades);
- provide new entry door (south side);
- reconfigure and paint existing wood framed stair, deck and guardrail (south side);
- provide new vertical platform lift (south side);
- provide new painted wood framed stair, deck and guardrail (west side);
- provide new signage with individual raised letters and exterior lighting;
- paint entire exterior with a new (2) color scheme selected from historic color palettes.

COST ESTIMATING:

We are providing the following order-of-magnitude construction cost estimates for the purposes of determining general feasibility of the project, and for pursuing initial funding, tenant and business-plan development.

These are based on our own experience with a wide variety of recent rehab projects in different markets, with different levels of restoration. They do not reflect direct owner involvement and so are not specific in terms of the level of quality for interior and exterior finishes.

Additional elements that can influence project cost include: construction climate, owner schedule, pursuit of historic preservation tax credits, access to grant funding, etc.

FIRST FLOOR RENOVATIONS: \$87,000 - \$106,500

SECOND FLOOR RENOVATIONS: \$53,000 - \$64,500

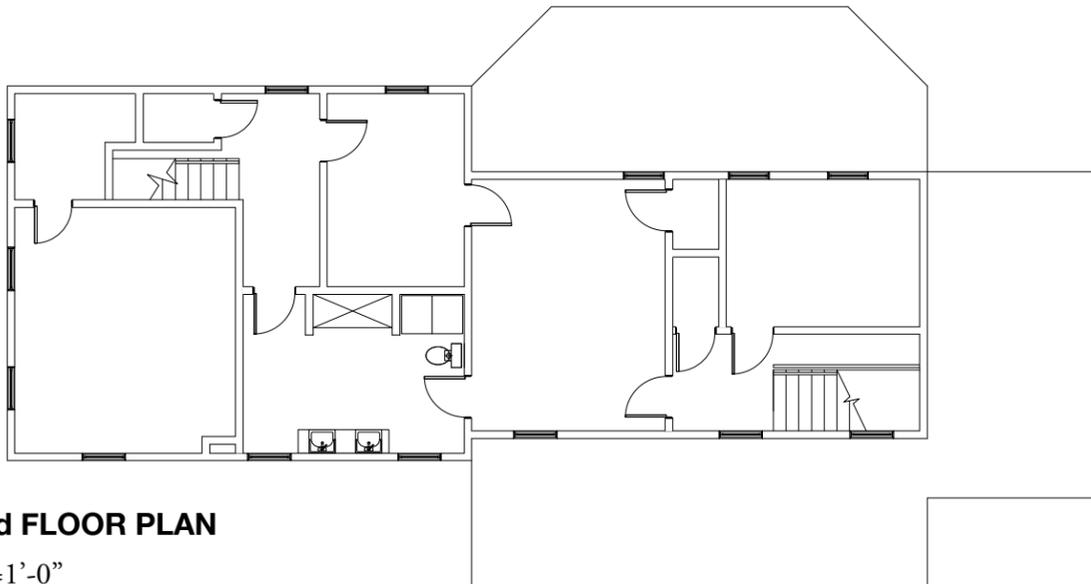
EXTERIOR: \$51,000 - \$62,000*

* Includes new vertical platform lift



Alternate Color Selections:

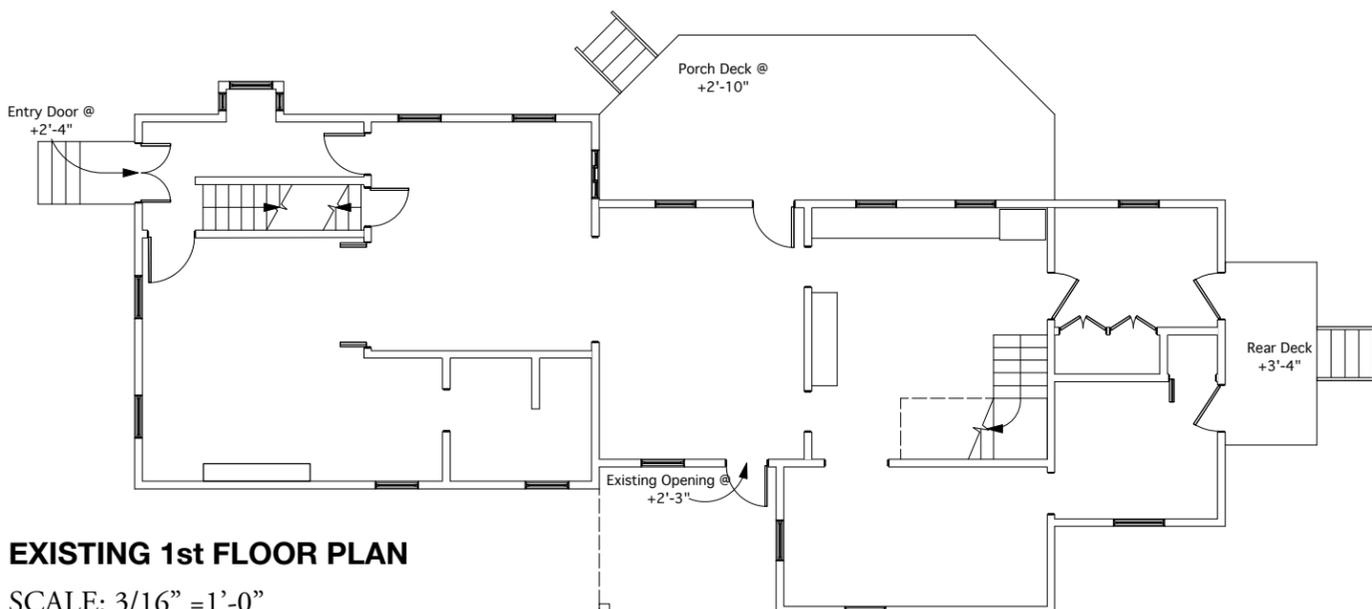
- Woodlawn Dewkist 7004-11 (or match existing)
- Belle Grove Brass 3010-4
- Hotel St. Francis Spirit Blue 5010-10
- La Fonda Grassy Knoll 6001-6B



EXISTING 2nd FLOOR PLAN

SCALE: 3/16" = 1'-0"

EXISTING:
First Floor
 Residential (R-3 Occupancy)
Second Floor
 Residential (R-3 Occupancy)



EXISTING 1st FLOOR PLAN

SCALE: 3/16" = 1'-0"





Facade Recommendations

Bayside Grocery

537 Main Street
Fairhaven, NY 13064

Paint Selection: From Valspar Historic collection

 Colonial Revival Blue 94416

 Classical White 94408

Exterior Recommendations:

1. Reconfigure existing roof structure.
2. Provide new vertical barn wood siding.
3. Existing windows to remain, typical.
4. Provide new wood or aluminum clad wood full glass entry door.
5. Provide new canopy roof structure.
6. Provide new individual raised letters.
7. Provide new wall mounted light fixtures.
8. Provide new vertical barn wood siding & cutout letters on existing canopy structure.

Existing Conditions





Facade Recommendation Main Street Option A

O'Connor's Pub

559 Main Street
Fairhaven, NY 13064

Paint Selection: From Sherwin Williams Heritage collection

 Rockwood Sash Green 94333

 Renwick Gold 94127

 Rockwood Dark Brown 94242

Exterior Recommendations:

1. Existing cornice to remain.
2. Existing frieze board and decorative brackets to remain.
3. Remove existing decorative shutters.
4. Provide new wood or aluminum clad wood windows
5. Reuse existing lower floor siding on upper floor.
6. Provide new painted fiber cement or wood decorative trim paneling, typical.
7. Provide new painted wood planter box.
8. Provide new individual raised letters.
9. Provide new wall mounted light fixtures.
10. Provide new wood or aluminum clad wood full glass entry door.
11. Existing concrete stairs and steel railings to remain.
12. New (3) color scheme from historic color palettes.



Precedent Study

Historic Photograph





Facade Recommendation Main Street Option B

O'Connor's Pub

559 Main Street
Fairhaven, NY 13064

Paint Selection: From Sherwin Williams Heritage collection

- Rockwood Sash Green 94333
- Woodlawn Dewkist 7004-11 (or match existing)
- Rockwood Dark Brown 94242

Exterior Recommendations:

1. Existing cornice to remain.
2. Existing frieze board and decorative brackets to remain.
3. Remove existing decorative shutters.
4. Provide new wood or aluminum clad wood windows
5. Reuse existing lower floor siding on upper floor.
6. Provide new painted fiber cement or wood decorative trim paneling, typical.
7. Provide new painted wood planter box.
8. Provide new individual raised letters.
9. Provide new wall mounted light fixtures.
10. Provide new wood or aluminum clad wood full glass entry door.
11. Existing concrete stairs and steel railings to remain.
12. New (3) color scheme from historic color palettes.



Precedent Study

Precedent Study





Facade Recommendation Cross Street

O'Connor's Pub

559 Main Street
Fairhaven, NY 13064

Paint Selection: From Sherwin Williams Heritage collection

 Rockwood Sash Green 94333

 Renwick Gold 94127

 Rockwood Dark Brown 94242

Exterior Recommendations:

1. Paint existing window framing/sashes. (typical)
2. Reuse existing lower floor siding on upper floor.
3. Provide new painted fiber cement or wood decorative trim paneling, typical.
4. Provide new stairway cover to upper residential units
5. Provide new structural framing for new stairway cover
6. Provide new wood or aluminum clad wood full glass entry door.
7. Provide new fabric awning to restaurant side entry.
8. new (3) color scheme from historic color palettes.



Existing Photograph

Historic Photograph



EXISTING:**First Floor:**

Assembly (A-2 Occupancy)

Second Floor:

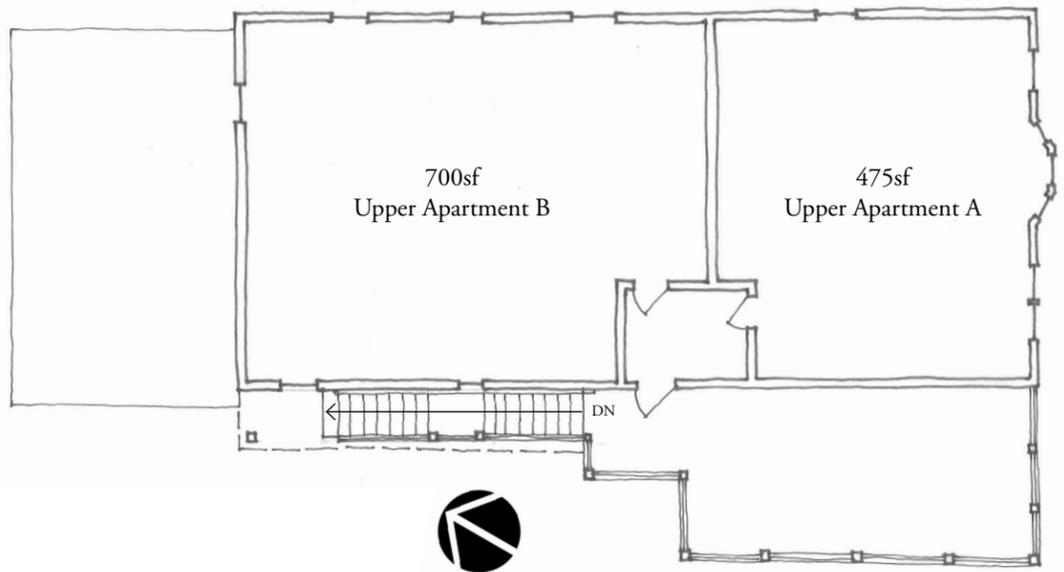
Residential (R-1 & R-2 Occupancy)

PROPOSED:**First Floor:**

Assembly (A-2 Occupancy)

Second Floor:

Residential (R-1 & R-2 Occupancy)



Interior Renovations

O'Connor's Pub

559 Main Street

Fairhaven, NY 13064

OVERVIEW:

This Main Street property is an existing two-story, wood framed building dating back to the late nineteenth century. It is a key contributor to the downtown core, has access to both on-street and off-street parking and sees significant pedestrian and vehicular traffic due to its location on Main Street. The existing first floor is currently occupied by a restaurant and bar and adds value to the community. The existing second floor is occupied by (2) residential units, one for permanent housing and one for temporary housing which supports tourist demand.

OUR PROPOSALS:

All of our recommendations would be suitable for a New York Main Street Grant-funded project, and have been developed with The Secretary of the Interior's Standards in mind. The existing outdated forced air unit which serves the first floor restaurant and bar will be replaced. The second floor will be renovated to include cosmetic flooring upgrades. All other renovations will be to the exterior of the building.

EXTERIOR:

Recommendations for complete restoration of the exterior are shown on the facade sketch. These include:

FRONT (MAIN STREET) FACADE

- existing cornice to remain;
- existing frieze board and decorative brackets to remain;
- provide new or salvaged fiber cement siding and trim, paint;
- provide new wood or aluminum clad wood windows, typical;
- provide new painted wood planter boxes;
- provide new painted fiber cement cornice and trim;
- provide new painted fiber cement signboard
- provide new individual raised letters;
- provide new painted fiber cement panel and trim paneling, typical;
- provide new wall mounted light fixtures;
- existing windows to remain;
- provide new wood or aluminum clad wood full glass entry door;
- select a new (3) color scheme from historic color palettes.

SIDE (CROSS STREET) FACADE

- existing cornice to remain;
- provide new or salvaged fiber cement siding and trim, paint;
- provide new wood or aluminum clad wood windows, typical;
- provide new metal roofing;
- provide new wood framed canopy structure;
- provide new slip resistant stair treads on existing wood stairs;
- provide new wood or aluminum clad wood half glass entry door;
- provide new fabric awning;
- provide new painted fiber cement panel and trim paneling, typical;
- existing windows to remain;
- provide new wood or aluminum clad wood full glass entry door;
- select a new (3) color scheme from historic color palettes.

REAR (NORTH) AND SIDE (EAST) FACADES

- provide new or salvaged fiber cement siding and trim, paint;
- provide new wood or aluminum clad wood entry doors;
- provide new wood or aluminum clad wood window units

COST ESTIMATING:

We are providing the following order-of-magnitude construction cost estimates for the purposes of determining general feasibility of the project, and for pursuing initial funding, tenant and business-plan development.

These are based on our own experience with a wide variety of recent rehab projects in different markets, with different levels of restoration. They do not reflect direct owner involvement and so are not specific in terms of the level of quality for interior and exterior finishes.

Additional elements that can influence project cost include: construction climate, owner schedule, pursuit of historic preservation tax credits, access to grant funding, etc.

FIRST FLOOR HVAC UPGRADES: \$4,500 - \$5,500

SECOND FLOOR RENOVATIONS: \$9,500 - \$11,500

EXTERIOR: \$94,500 - \$115,000





Facade Recommendation

Sammy's Groomingdale's

575-579 Main Street
Fairhaven, NY 13064

Paint Selection: From Sherwin Williams Heritage collection

 Hotel St. Francis Spirit Blue 5010-10

 La Fonda Fireberry 1010-1

 Woodlawn Dewkist 7004-11

Exterior Recommendations:

1. Existing cornice to remain.
2. Existing frieze board and decorative brackets to remain.
3. Provide new painted fiber cement siding and trim.
4. Provide new painted fiber cement or wood decorative window trim.
5. Existing windows to remain, typical.
6. Provide new painted wood planter boxes.
7. Provide new painted fiber cement cornice and trim.
8. Provide new fabric awnings with signage.
9. Provide new painted fiber cement panel and trim paneling, typical.
10. Provide new wall mounted light fixtures.
11. Provide new wood or aluminum clad wood half glass entry doors.
12. Provide new wood or aluminum clad wood full glass entry door.
13. Provide new painted fiber cement panel and trim planter boxes.
14. Existing concrete stairs and steel railings to remain.
15. Select a new (3) color scheme from historic color palettes.



Existing Conditions

Historic Photograph





Facade Recommendations

Residence

581 Main Street
Fairhaven, NY 13064

Paint Selection: From Sherwin Williams Heritage collection

 Rockwood Sash Green 94333

 Rockwood Brown 94226

Exterior Recommendations:

1. Provide new painted fiber cement fascia and soffit.
2. Provide new painted fiber cement vertical siding.
3. Provide new painted fiber cement cornice.
4. Provide new fabric awning.
5. Clean, repair and repoint existing face brick.
6. Provide new wall mounted light fixtures.
7. Provide new carriage style decorative wood door.
8. Provide new wood or aluminum clad wood half glass door.
9. Provide new wood or aluminum clad wood storefront windows with obscure glass in lower panes.
10. Provide new painted fiber cement panel and trim planter box.
11. Select a new (2) color scheme from historic color palettes.



Existing Conditions

Historic Photograph





Facade Recommendations

Hancock Marine

583 Main Street
Fairhaven, NY 13064

Paint Selection: From Valspar Historic collection

- Downing Sand 94044
- Tiffany Olive 94382

Exterior Recommendations:

1. Clean, repair and restore existing concrete wall caps.
2. Clean, repair and restore existing stucco finish.
3. Provide new wood canopy structure.
4. Provide new signboard with individual raised letters.
5. Provide new wall mounted light fixtures.
6. Provide new wood or aluminum clad wood storefront windows, typical.
7. Clean, repair and restore existing concrete sills.
8. Provide new wood or aluminum clad wood full glass entry doors and transom units.
9. Select a new (2) color scheme from historic color palettes.
10. Provide new fiber cement cladding onto existing masonry wall.



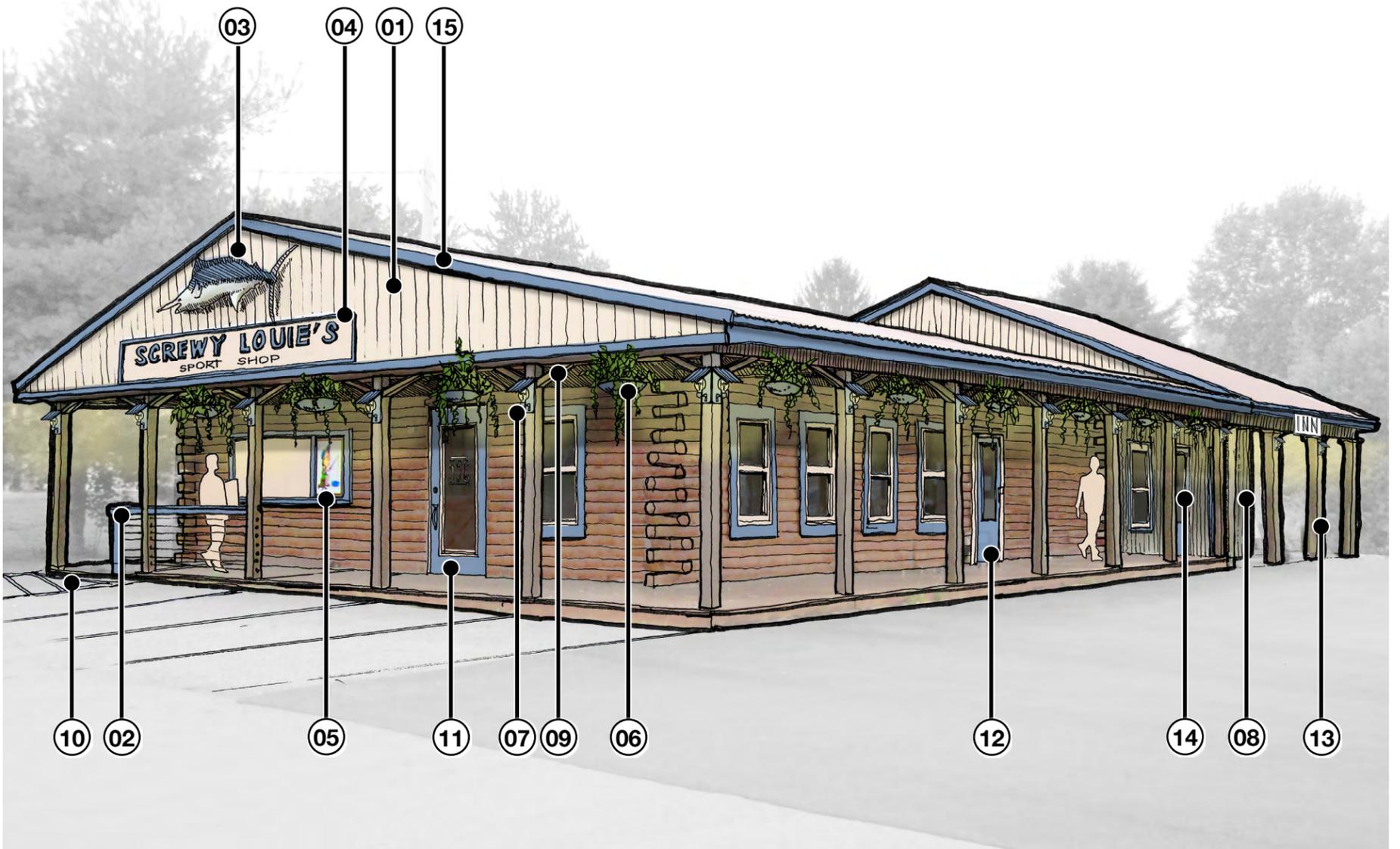
Existing Conditions



Alternative Facade

Historic Photograph





Facade Recommendations

Screwy Louie's

596 Main Street
Fairhaven, NY 13064

Paint Selection: From Valspar Historic collection

-  Colonial Revival Blue 94416
-  Classical White 94408

Exterior Recommendations:

1. Clean and paint existing siding.
2. Provide wheelchair ramp and railing to raised base.
3. Clean and repair fish signage.
4. Provide fiber cement signboard with raised individual letters.
5. Relocate "Fishing Louie" imageboard.
6. Provide center mounted hanging visual element (baskets shown).
7. Provide column mounted light fixtures.
8. Provide new corrugated aluminum cladding on rear addition.
9. Provide new decorative brackets on existing porch columns.
10. Provide handicapped parking at front of building
11. Provide new wood or aluminum clad wood full glass entry door.
12. Repaint existing half glass entry door to remain.
13. Remove superfluous signage from building.
14. Provide new wood or aluminum clad wood half glass entry door.
15. Select a new (2) color scheme from historic color palettes.

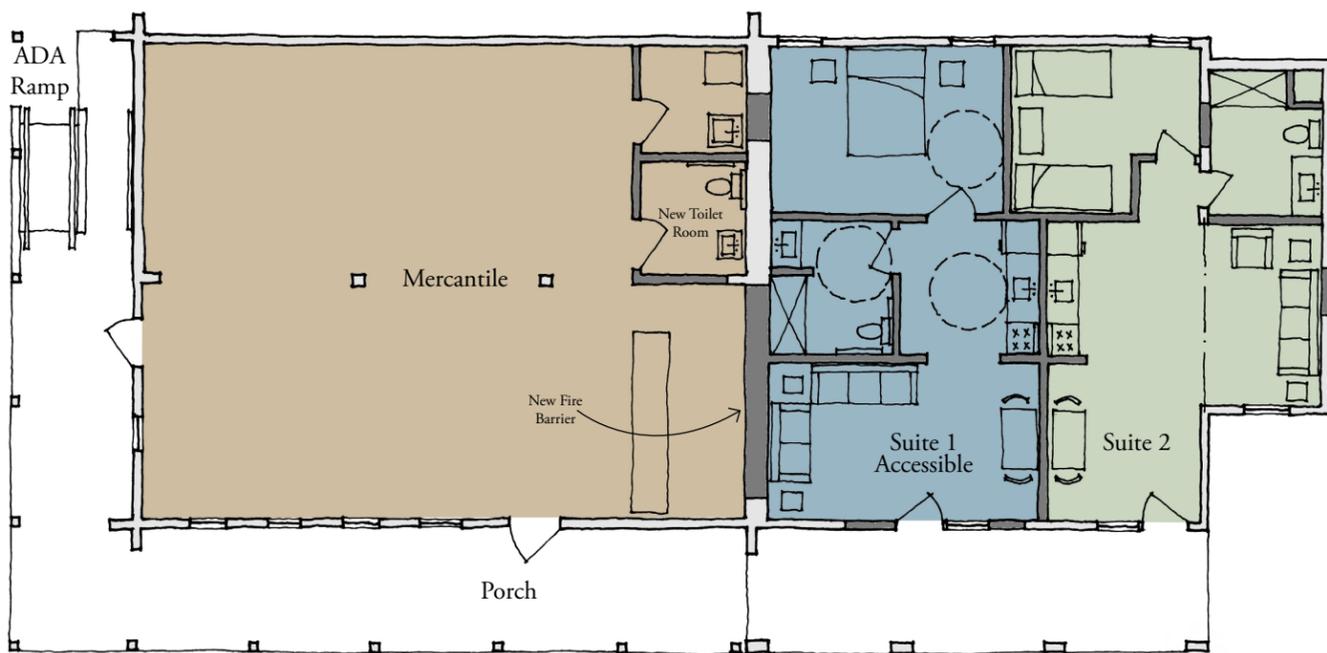


Existing Conditions



Historic Photographs





PROPOSED 1st FLOOR PLAN

SCALE: 3/32" = 1'-0"

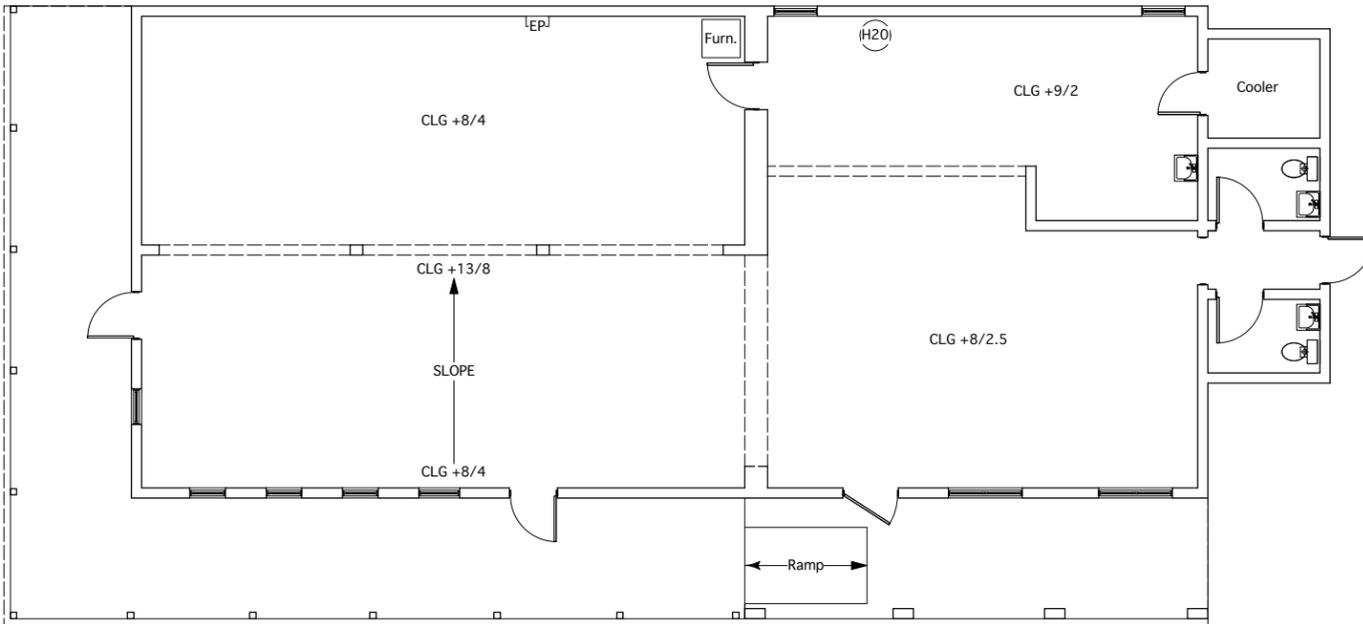
EXISTING:
First Floor

Mercantile (M Occupancy)



PROPOSED:
First Floor

Mercantile (M Occupancy)
Residential (R-1 Occupancy)



EXISTING 1st FLOOR PLAN

SCALE: 3/32" = 1'-0"



Interior Renovations

Screwy Louie's

596 Main Street
Fairhaven, NY 13064

OVERVIEW:

This Main Street property is an existing 2,200 square foot, one-story, log construction building dating to 1987 with an addition dating to the early 2000's. It has access to off-street parking and sees significant pedestrian and vehicular traffic due to its location on Main Street. The building is currently occupied by a fishing and boating supply tenant. This space does not maximize the existing square footage and is not in the best interest of the property or owner, but does demonstrate an opportunity to attract additional tenants which would increase long-term income and thus ensure the building's long-term viability. Fair Haven is a desired tourist location in the summer months with a demand for temporary, transient housing.

OUR PROPOSALS:

All of our recommendations would be suitable for a New York Main Street Grant-funded project, and have been developed with The Secretary of the Interior's Standards in mind. The fishing and boating supply tenant area will be consolidated and occupy the original log construction portion of the building, including a new accessible toilet room and exterior ramp. The remainder of the building will be converted into inn suites with full bathrooms, kitchenettes and open living spaces. One (1) of the suites will be fully accessible. New sprinklers are required at the inn suites. A fire rated barrier is required between the mercantile and residential occupancies.

The site can provide for adequate, convenient and safe parking on the west side of the building for both the existing commercial tenant and new Inn suites. We'd suggest a minimum of (1) on-site parking space for each suite. Ideally (2) spaces per suite would ensure the most attractive situation for prospective clients.

EXTERIOR:

Recommendations for complete restoration of the exterior are shown on the facade sketch. These include:

- reconfigure existing deck to allow for new accessible ramp, guardrail and handrail;
- provide new wood or aluminum clad wood full glass entry door;
- provide new wood aluminum clad wood half glass entry doors;
- provide new decorative wood brackets;
- provide new exterior light fixtures;
- provide new painted fiber cement panel and trim signboards with existing signage;
- paint existing gable end;
- provide new corrugated metal panel siding at inn suites;
- provide new wood or aluminum clad wood windows;
- trim out existing cmu columns with new painted fiber cement panel and trim;
- select a new (3) color scheme selected from historic color palettes.

COST ESTIMATING:

We are providing the following order-of-magnitude construction cost estimates for the purposes of determining general feasibility of the project, and for pursuing initial funding, tenant and business-plan development.

These are based on our own experience with a wide variety of recent rehab projects in different markets, with different levels of restoration. They do not reflect direct owner involvement and so are not specific in terms of the level of quality for interior and exterior finishes.

Additional elements that can influence project cost include: construction climate, owner schedule, pursuit of historic preservation tax credits, access to grant funding, etc.

COMMERCIAL RENOVATIONS: \$6,500 - \$8,000

RESIDENTIAL RENOVATIONS: \$59,000 - \$72,000

EXTERIOR RENOVATIONS: \$33,500 - \$41,000



Facade Recommendations

Residence

581 Main Street
Fairhaven, NY 13064

Paint Selection: From Valspar Historic Colors



Montpelier Red Velvet 1009-6

Exterior Recommendations:

1. Provide new perpendicular signage centered above second floor stair.
2. Add an additional paint color to emphasize trim detailing
3. Provide ramp to rear entry for accessible use.



Existing Conditions

Older Photograph



EXISTING:

First Floor:

Vacant (Formerly M Occupancy)

Second Floor:

Vacant

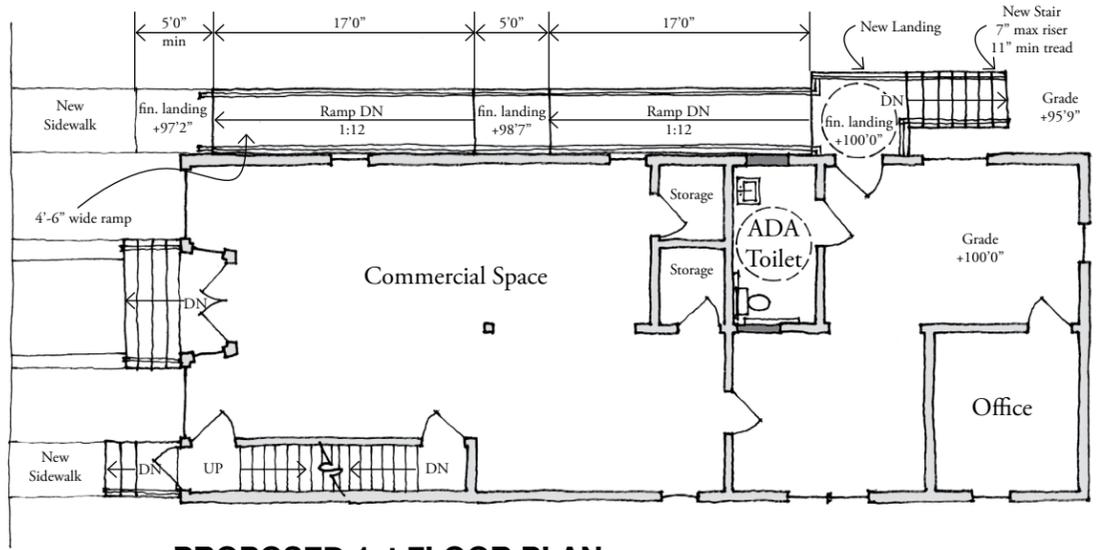
PROPOSED:

First Floor:

Mercantile (M Occupancy)

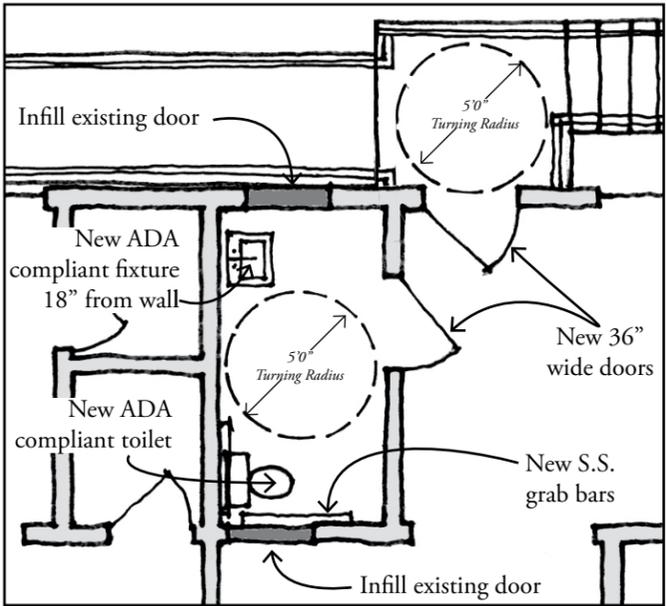
Second Floor:

Vacant

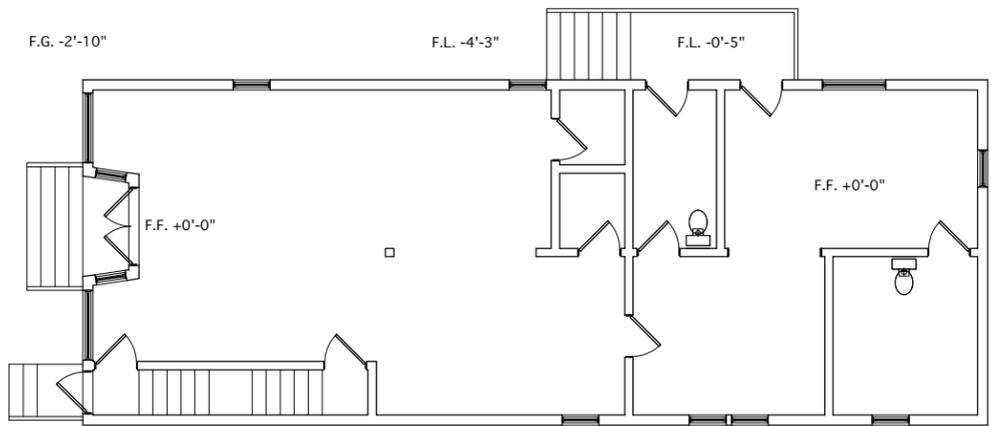


PROPOSED 1st FLOOR PLAN

SCALE: 3/16" = 1'-0"



ENLARGED BATHROOM PLAN



EXISTING 1st FLOOR PLAN

SCALE: 3/8" = 1'-0"



Haywards

576 Main Street

Fairhaven, NY 13064

OVERVIEW:

This Main Street property is an existing 2,500 square foot, two-story, wood framed building. It has access to off-street parking and sees significant pedestrian and vehicular traffic due to its location on Main Street. The building is currently vacant which is not in the best interest of the property or owner, but does demonstrate an opportunity to attract tenants which would increase long-term income and thus ensure the building's long-term viability.

OUR PROPOSALS:

All of our recommendations would be suitable for a New York Main Street Grant-funded project, and have been developed with The Secretary of the Interior's Standards in mind. The owner has interest from a potential tenant which would require the building to be fully accessible. A new exterior sidewalk, ramp, landings and stairs, as well as an exterior door will be installed on the west side of the building to allow for a new accessible path into the building. The first floor interior is adequate for the interested tenant but will require the existing toilet room to be upgraded to be fully accessible, this will require installation of a new door, new fixtures and grab bars. It will also require the relocation of an existing radiator unit. Second floor interior re-use analysis was not part of the requested scope of work.

EXTERIOR:

Recommendations for a minor addition on the exterior to create an accessible entry path into the building include:

- provide new painted wood framed accessible ramp, landings, stairs, guardrails and handrails;
- provide new concrete sidewalks as shown on the proposed floor plan;
- provide new wood or aluminum clad wood half glass entry door (west side);
- provide new painted fiber cement siding to match the existing where the existing door is to be removed;
- provide new exterior light fixtures as required to illuminate the ramp and entry.

COST ESTIMATING:

We are providing the following order-of-magnitude construction cost estimates for the purposes of determining general feasibility of the project, and for pursuing initial funding, tenant and business-plan development.

These are based on our own experience with a wide variety of recent rehab projects in different markets, with different levels of restoration. They do not reflect direct owner involvement and so are not specific in terms of the level of quality for interior and exterior finishes.

Additional elements that can influence project cost include: construction climate, owner schedule, pursuit of historic preservation tax credits, access to grant funding, etc.

FIRST FLOOR (COMMERCIAL): \$4,800 - \$5,900

EXTERIOR: \$11,000 - \$13,500



This handbook was produced with funds from the NYS Homes & Community Renewal and Housing Trust Fund Corporation.

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 Geneva NY 14456

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 www.insitearch.com

EXISTING:

First Floor:

Vacant (Formerly M Occupancy)

Second Floor:

Vacant

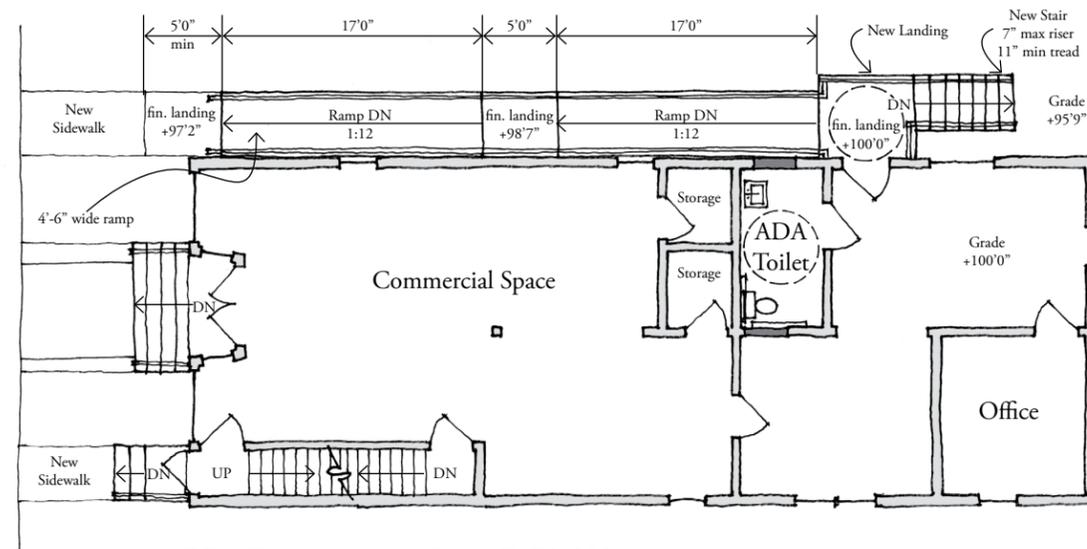
PROPOSED:

First Floor:

Mercantile (M Occupancy)

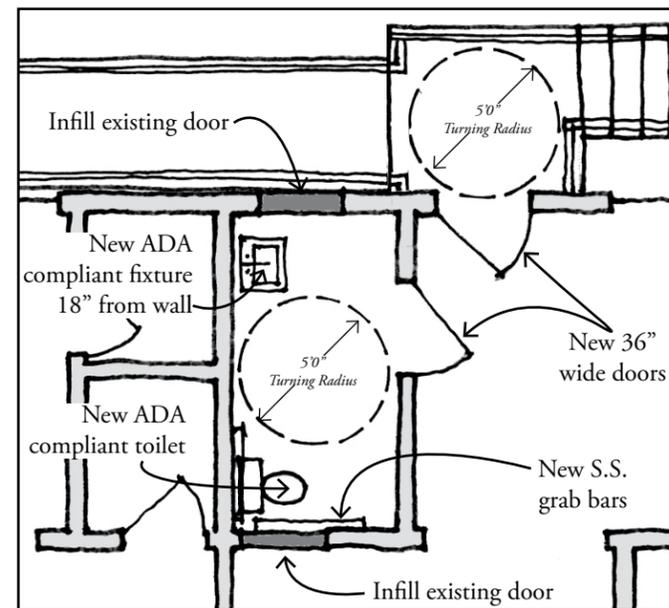
Second Floor:

Vacant

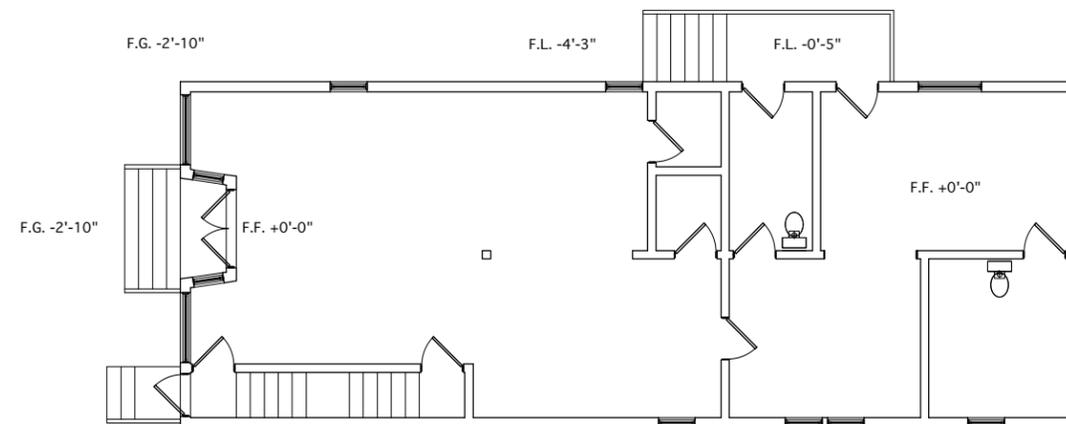


PROPOSED 1st FLOOR PLAN

SCALE: 3/16" = 1'-0"



ENLARGED BATHROOM PLAN



EXISTING 1st FLOOR PLAN

SCALE: 3/8" = 1'-0"

PRELIMINARY
 NOT FOR
 CONSTRUCTION

STAMP

PROJECT TITLE

581 Main Street
 Fair Haven, NY 13064

Accessibility
 improvements

PROJECT NUMBER: 1610

DATE: 3.28.2016

DRAWN BY: KS

CHECKED BY: RH

SHEET TITLE

Existing and
 Proposed Plans

SHEET NUMBER

A-1