

**CRANE STREET FACADE IMPROVEMENT PROGRAM
BUILDING FEASIBILITY STUDIES**

**PREPARED BY:
STRACHER ROTH & GILMORE ARCHITECTS
JULY 2018**

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NYS Homes and Community Renewal. Document is property of Housing Trust
Fund Corporation and Better Neighborhoods.



**HISTORY
OF
CRANE
STREET**

SCHENECTADY'S DRAMATIC GROWTH AROUND 1900

Mont Pleasant's traditional shopping district along Crane Street began around the beginning of the 20th Century, serving immigrants flooding into Schenectady attracted by the promise of good factory jobs. Poles, Lithuanians & Jews from Eastern Europe; Italians from the Mediterranean and Irish from the British Isles arrived to fill the expanding work force of General Electric, Westinghouse and Alco. Speculative housing was being built everywhere with many two family homes available for multi-generational arrivals. A number of the early commercial buildings along this part of Crane Street remain. They were multi-storied, mixed use buildings with the traditional storefront and apartments above with a separate entrance.



The Crane Street Neighborhood Shopping Center has always been about immigrants. And so it is today. Many of the properties are now owned by the Guyanese. Their numbers too have been growing. City wide there are over 6,000, many from the boroughs of New York City.

TRANSPORTATION ADVANCEMENTS

The Mohawk & Hudson Railroad was the first railroad built in the state of New York linking Albany on the Hudson with Schenectady on the Mohawk: a 16-mile track through the Pine Barrens. The line was conceived as a means to allow Erie Canal passengers to quickly bypass the circuitous Cohoes Falls lock system. This reduced their journey from a whole day to under an hour.



The Dewitt Clinton Engine, pulling modified stage coaches, was one of the country's first steam locomotives and could achieve a traveling speed of 30 miles per hour. Initially, the line ended outside the two cities to avoid steep grades. The Schenectady Terminus at Crane Street became known as Engine Hill. At the end of the line was a turntable for the locomotive.

Schenectady's first railroad station located at 803 Crane Street was a tiny brick building known as the Western Terminal for the Mohawk & Hudson Railroad.

In 1905, the Pleasant Valley Bridge was completed and dedicated to extending Schenectady Railway Company trolley service into Mont Pleasant. This trolley rail connection was a critical factor in encouraging the construction of new housing—the most dense neighborhood in Schenectady. It connected over 5,000 people to the Downtown and to the factories. The Crane Street-Scotia Trolley run was one of the most heavily traveled and most profitable of the Schenectady Railway Company. But by the 1930's, buses had eclipsed this urban commuter system.



HOUSES OF WORSHIP

Mont Pleasant's religious architecture also records the cultural diversity of its early years. There are churches and former synagogues throughout the neighborhood. St. Adalbert's Church, located on Crane Street, is a prominent example. Its position above the City, and its imposing tower, underscores the strength of the Polish immigrants during the early 20th Century.



Today there are new houses of worship. Former churches have been converted into different religious centers reflecting the changing cultural scene.



Hindu Temple Conversion

The architecture defining the traditional neighborhood shopping district on Crane Street was typically two to three-story mixed-use buildings. The former prosperity of the district is evident in century-old structures built as prideful mercantile architecture. Some of the buildings' distinctive proportions and detail have been covered over. The future Crane Street home for veterans is a powerful shingle style building. Beneath the recent siding are sophisticated enframements and ornament, lost to the public view.



Shingle Style Residence

SCHENECTADY DESIGN STANDARDS

For new construction, the City of Schenectady has assembled a set of Guidelines for commercial/residential mixed-use properties. The Crane Street Shopping District is, in large part, a completed built environment. And, for the original structures, before mid-century additions and “modernizations,” particularly at the street level, they were very much in compliance with these standards. The SRG Team, once involved with owners and merchants on the street, has realized that part of the interest and, in fact, excitement of the strip is that there are a number of ethnic shops with their own unique products, ornamentation and decorative painting. The owners come from other places. Some come from South America; some from the Caribbean; and their cultural preferences enjoy more festive design expressions. It was, therefore, agreed that the revitalization of the Crane Street Shopping Corridor should not necessarily end up looking like upper Union Street. For the improvements that are shown in the following report, sensitivity was given to who the owners are and what they preferred as appropriate solutions of façade improvement. A companion piece to this revitalization effort is whether to insist upon restrained signage close to the façade, or whether some of the exuberance evidenced by certain existing signs that have been thrust out over the sidewalk should remain. As this Team proceeds with the City, with BNI, and with the owners and merchants, we need to understand how façade enhancements can also be a tasteful cultural expression.

BUILDING
RE-USE ANALYSIS

CRANE STREET FACADE IMPROVEMENT PROGRAM

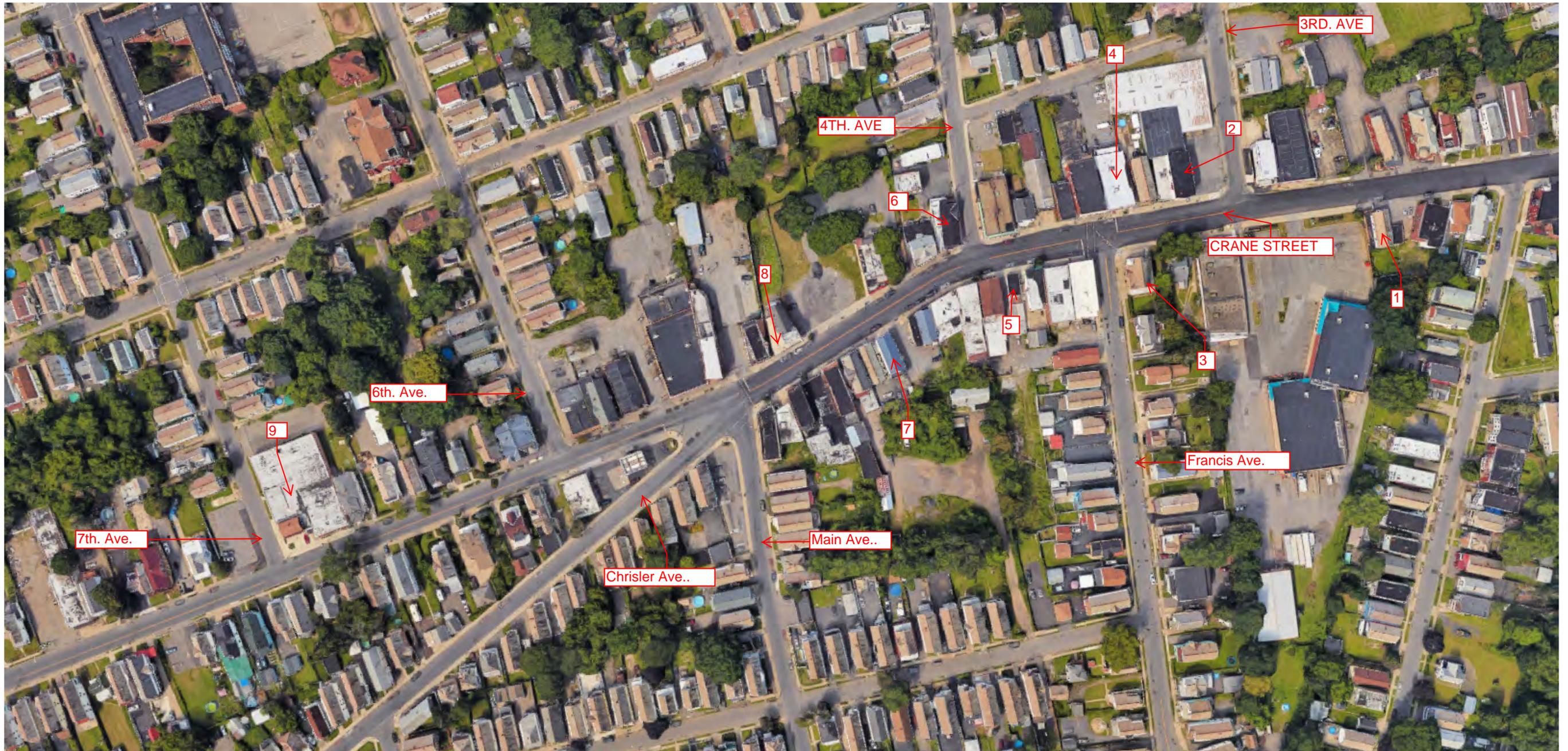


CITY OF SCHENECTADY- CRANE STREET FACADE IMPROVEMENT PROGRAM

BUILDING RE-USE ANALYSIS

- 727 Crane Street- One Stop Groceries
- 812 Crane Street- Marcella's
- 815-819 Crane Street- Shreya's Exclusive
- 822 Crane Street- Ramesh West Indian
& American Grocery
- 865 Crane Street- Combos Fish Fry
- 902 Crane Street- Mami's Restaurant
- 939 Crane Street- El Dorado Sports Bar
- 944 Crane Street- G & K Laundromat
- 1090 Crane Street- New Hope Banquet Hall





Property Key:

1. 727 Crane Street- Crane Street Properties- (One Stop Groceries)
2. 812 Crane Street- Marcella's
3. 815-819 Crane Street- Kiddie Cloud Daycare & Shreya's Exclusive
4. 822 Crane Street- Ramesh West Indian & American Grocery
5. 865 Crane Street- Combos Fish Fry
6. 902 Crane Street- Mami's Restaurant
7. 939 Crane Street- El Dorado Sports Bar
8. 944 Crane Street- G & K Laundromat
9. 1090 Crane Street- New Hope Banquet Hall

CRANE STREET FACADE IMPROVEMENT PROGRAM

EXISTING

First Floor- Retail Space- No Change
Second Floor- 3 bedroom/1 bath occupied Apartment

STOP & GO GROCERY
727 CRANE STREET
SCHENECTADY, NY 12303

PROPOSED

First Floor- Retail Space- No Change
Second Floor- 3 bedroom, 1 bath occupied Apartment

OVERVIEW

A two story building currently occupied as a ground floor retail grocery store, and a 3 bedroom/1bath apartment above. The property is accessed by on street parking only for the grocery store; tenants have off street parking in the lot adjacent to the building.



Existing Exterior Facade

CRANE STREET FACADE IMPROVEMENT PROGRAM



Re-point & paint brick



Repair/replace 2nd floor porch trim & molding



Add EIFS system cornice to top of 1st floor brick. Replace front porch windows, metal awning over entry doors, and new landscaping.

CRANE STREET FACADE IMPROVEMENT PROGRAM



Repair concrete step & add iron handrails



Repair vinyl siding; replace rear windows



Replace small bathroom window with larger, energy efficient window



Repair slate roof

CRANE STREET FACADE IMPROVEMENT PROGRAM



Ceiling at 1st floor foyer - water damage



Expand mechanical ductwork to second floor



2nd floor bathroom - upgrade fixtures & finishes



CRANE STREET FACADE IMPROVEMENT PROGRAM

OUR PROPOSALS

Exterior Façade is to include metal awnings (1) over apartment door and (1) over storefront and grocery store entry. Vinyl siding is to be repaired, energy efficient window replacement on the second floor. Repair slate roof. Repair/replace molding and trim on front porch. Re-point and paint brick. Repair concrete steps & apartment entry and add an iron handrail.

Interior work to consist of second floor bathroom fixture and finish upgrade. Expand the heating system from the basement (add ductwork) to supply the second floor.

EXTERIOR

Recommendations for complete restoration of the exterior are shown on the façade sketch enclosed. These include:

- New signage
- New Exterior Lighting
- Slate Roof repair
- Vinyl siding repair, new gable vent
- 2nd Floor Porch repair/replace molding and trim
- Re-point brick & paint white
- Chimney repair
- Roof drain over apartment entry - repair/replace
- Provide awning over apartment door
- Provide awning over storefront window and entry door
- Add EIFS system cornice to top of 1st floor brick
- Repair concrete steps to apartment entry, add iron railing
- Partial sidewalk removal under storefront window, add topsoil & plant Yew Hedge
- 2nd floor window replacement: Bathroom, Front Porch, Rear Porch



Proposed Façade

CRANE STREET FACADE IMPROVEMENT PROGRAM

CODE REVIEW

- New York State Uniform Fire Prevention and Building Code: International Building Code (IBC)
- International Mechanical Code (IMC)
- International Plumbing Code (IPC)
- International Existing Building Code (IEBC)
- International Energy Conservation Code (IECC)

Empirical Data:

- Mixed occupancy: Group M (Retail Grocery), Group R-3 Apartments
- Type Vb Construction classification.
- Two story non-sprinkled without separation, area less than the maximum 9,000 square feet allowed.

New Work:

Classification of Work: Chapter 5 of the IEBC:

- Repairs chapter 6 (IEBC)
- Alterations – Level 1 Chapter 7 (IEBC)

Building Elements and Materials:

- 602.1 Existing building materials are permitted to remain if not deemed unsafe or dangerous by code official.
- 602.2 New and replacement materials as permitted by IBC. Like materials are permitted for repairs and alterations if no dangerous or unsafe conditions result from their use.
- 602.3 Glazing in hazardous locations to comply with safety glazing provisions of IBC.
- 702.1 Interior finishes newly installed to comply with IBC.
- 702.2 New interior floor finish to comply with IBC.
- 702.3 New interior trim materials to comply with IBC.
- 702.6 All new work shall comply with the materials and methods requirement of the IBC, IECC, IMC and IPC.

Fire Protection:

- 603.1 Existing elements of fire protection shall be maintained.

Means of Egress:

- 604.1 Existing elements of the means of egress system shall be maintained.

Accessibility:

- 705.1 Unless technically infeasible, alterations and repairs shall comply with the requirements of the IBC.
- 705.1.1 Entrances are to provide HC access to primary function areas as described in 705.2. Other entrances are not required to provide access.
- 705.1.4 Ramps may be steeper than 1:12 if necessary. Rise of 3 inches may slope to 1:8.
- 705.1.12 Thresholds are to be 3/4 inch maximum, with beveled edges, each side.

Reroofing:

- 706.1 Material and methods guidelines for recovering/replacing shall comply with IBC. Design slope requirements minimum of 1:12 (2% slopes) are not required if existing configuration provides positive drainage.
- 706.3 Recover versus replacement guidelines must be met.
- 706.6 Flashings are to be reconstructed in accordance with roofing manufacturer's guidelines.

CRANE STREET FACADE IMPROVEMENT PROGRAM

Electrical:

- 607.1 Existing wiring and equipment undergoing repair may be replaced/repaired with like materials.
- 607.1.1 Receptacle replacement to comply with NFPA70.

Mechanical:

- 608.1 Repairing existing mechanical systems is not allowed if building will be less conforming than before repair.

Plumbing:

- 609.1 Prohibited materials and supplies by the IPC shall not be used.

Energy Conservation:

- 708.1 Alterations must meet the requirements of the IECC but are permitted without requiring the entire building to comply.

CRANE STREET FACADE IMPROVEMENT PROGRAM

EXISTING

First Floor- Retail / Office Space
Second Floor- Open Floor Space
Third Floor- (2) unoccupied apartments

MARCELLA'S
812 CRANE STREET
SCHENECTADY, NY 12303

PROPOSED

First Floor- No Change
Second Floor- 2 Apartment Units
 (2) 2 Bedroom/1 Bath Apartment
 Apt A (2b,1ba)
 Apt B (2b,1ba)
Third Floor- 2 Apartment Units
 (2) 2 Bedroom/1 Bath Apartment
 Apt C (2b,1ba)
 Apt D (2b,1ba)

OVERVIEW

Exterior facade has been previously renovated and will provide basis for street renovations. Existing entry will be upgraded with insulated aluminum storefront system, new signage, lighting and paint finishes.

The vacant second & third floors are desired to be renovated with apartments. The existing conditions precluded any investigation. Along with apparent water damage from roof leaks, the spaces have been infested with pigeons and other vermin resulting in a hazardous environment. The upper 2 floors as observed, are unsuitable at this time for human occupancy. As a result, no schematic layouts were produced. Typical square foot costs were derived based on industry standards for this type of occupancy.



Existing Exterior Façade

CRANE STREET FACADE IMPROVEMENT PROGRAM

OUR PROPOSALS

Restore upper two floors to baseline sanitary conditions so that evaluation of the building elements can be performed. Prepare schematic design proposed for utilization of spaces as the desired apartments. Re-skin warehouse metal panels. Scrape re-point and paint brick. Install energy efficient windows on 2nd and 3rd floor and replace storefront glazing in existing opening.

EXTERIOR

Recommendations for complete restoration of the exterior are shown on the façade sketch enclosed. These include:

- repair and paint all existing clapboard siding;
- re-point & paint brick masonry;
- restore window openings and provide new energy compliant, double hung units;
- provide new perpendicular signage and exterior lighting following Schenectady County sign ordinances; replace storefront glazing system in existing opening;
- replace metal panels on warehouse entrance wall and side walls with similar profile panels, replace/restore all existing flashing and trim;
- Select a new (2-3) color scheme from historic color palettes, complying with Schenectady Downtown Design Guidelines;
- Renovate second and third floor to accommodate (4) apartments per floor.



Proposed Facade

CRANE STREET FACADE IMPROVEMENT PROGRAM

CODE REVIEW

New York State Uniform Fire Prevention and Building Code:

- International Building Code (IBC)
- International Mechanical Code (IMC)
- International Plumbing Code (IPC)
- International Existing Building Code (IEBC)
- International Energy Conservation Code (IECC)

Empirical Data:

- Mixed occupancy: Group M (Mercantile), Group R-2 Apartments containing more than 2 dwelling units.
- Construction Type IIIb.
- Three story non-sprinkled without separation, building area less than allowed 15,500 sf. For Group M 9,000 square feet allowed floor area.

New Work:

Classification of Work: Chapter 5 of the IEBC:

- Repairs chapter 6 IEBC
- Alterations level 1, 2, 3 chapters 7, 8, 9 IEBC
- Change of Occupancy chapter 10 IEBC.

Change of Occupancy:

- 1012.1.1.1 Change of occupancy without separation between Group M & R-3, Group M not required to be sprinkled.
- 1012.2.2.2 Fire detection required in apartments (smoke detectors) per 907.2.11.2 of the IBC.

Repairs; Alterations Level 1, 2, 3

Building Elements and Materials:

- 602.1 Existing building materials are permitted to remain if not deemed unsafe or dangerous by code official.
- 602.2 New and replacement materials as permitted by IBC. Like materials are permitted for repairs and alterations if no dangerous or unsafe conditions result from their use.
- 602.3 Glazing in hazardous locations to comply with safety glazing provisions of IBC.
- 702.1 Interior finishes newly installed to comply with IBC.
- 702.2 New interior floor finish to comply with IBC.
- 702.3 New interior trim materials to comply with IBC.
- 702.6 All new work shall comply with the materials and methods requirement of the IBC, IECC, IMC and IPC.

Fire Protection:

- 603.1 Existing elements of fire protection shall be maintained.
- 804.1.1 Corridor fire ratings reduced by installation of sprinklers to ½ hour table 1020.1 IBC.
- 804.2.2 Group R-2 occupancy shall be provided with automatic sprinkler protection if building has sufficient municipal water supply for design of system without requiring a new fire pump, otherwise requirements of sections 907.4, 907.5, 907.6 of IBC relative to smoke detection and occupant notification.

Means of Egress:

- 604.1 Existing elements of the means of egress system shall be maintained.
- 905.2 Means of egress lighting (artificial lighting) should be provided from highest level floor to exit discharge per IBC.
- 905.3 Exit signs shall be provided from highest level floor to exit discharge per IBC.

CRANE STREET FACADE IMPROVEMENT PROGRAM

Accessibility:

- 705.1 Unless technically infeasible, alterations and repairs shall comply with the requirements of the IBC.
- 705.1.1 Entrances are to provide HC access to primary function areas as described in 705.2. Other entrances are not required to provide access.
- 705.1.4 Ramps may be steeper than 1:12 if necessary. Rise of 3 inches may slope to 1:8.
- 705.1.12 Thresholds are to be 3/4 inch maximum, with beveled edges, each side.
- 906.2 Type B dwelling units requirements of section 1107 of IBC apply to apartments.

Reroofing:

- 706.1 Material and methods guidelines for recovering/replacing shall comply with IBC. Design slope requirements minimum of 1:12 (2% slopes) are not required if existing configuration provides positive drainage.
- 706.3 Recover versus replacement guidelines must be met.
- 706.6 Flashings are to be reconstructed in accordance with roofing manufacturer's guidelines.

Electrical:

- 607.1 Existing wiring and equipment undergoing repair may be replaced/repared with like materials.
- 607.1.1 Receptacle replacement to comply with NFPA70.

Mechanical:

- 608.1 Repairing existing mechanical systems is not allowed if building will be less conforming than before repair.

Plumbing:

- 609.1 Prohibited materials and supplies by the IPC shall not be used.

Energy Conservation:

- 708.1 Alterations must meet the requirements of the IECC but are permitted without requiring the entire building to comply.

CRANE STREET FACADE IMPROVEMENT PROGRAM

EXISTING

First Floor- Retail Space
Second Floor- Apartment

SHREYA'S EXCLUSIVE

815-819 CRANE STREET
SCHENECTADY, NY 12303

PROPOSED

First Floor- Retail Establishment
Second Floor- Owner occupied Apartment

OVERVIEW

This is a 2-1/2 story mixed-use building with retail (ethnic clothing store) and a former daycare space on the ground floor. The owner's apartment (residence) is above. Between the adjacent lot there is a small one-story garage. The property includes a fenced-in back yard without street access. There is an existing fire rated wall between the retail space and the former daycare. Additionally, there is a horizontal separation between the retail space and the residence above. There is no separation between the residence and the former daycare below.

The exterior walls are brick masonry and are in need of repointing in several locations. The chimney on the roof is in need of repair/rebuilding. There is evidence of water damage to the wall on the street side where a built-in gutter is possibly leaking. The downspouts on the street side currently drain onto the sidewalk creating potential sidewalk icing during freeze/thaw conditions. An unwanted basement access door is located on the main façade elevation; a section of snow stop is mounted on the roof but doesn't adequately protect the sidewalk below. All of the windows in the apartment above, back and sides of the first floor are in need of an additional thermal barrier.



Existing Exterior Facade

CRANE STREET FACADE IMPROVEMENT PROGRAM



Exterior downspout locations-Code Violations



Water damage at Downspout

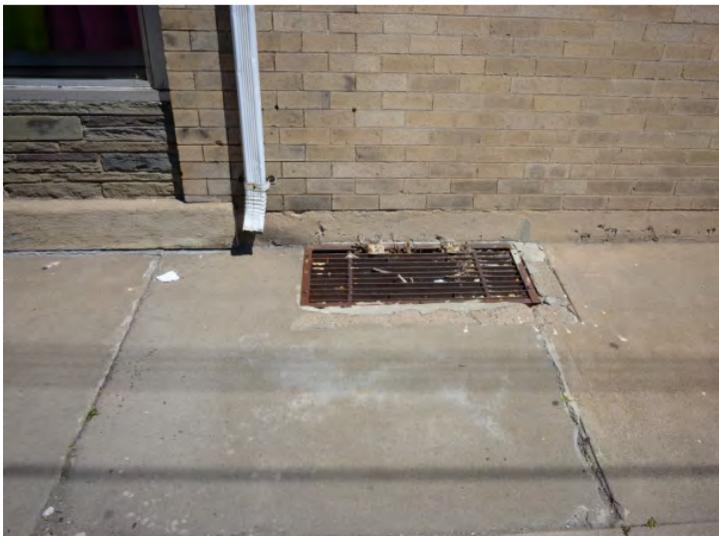


Exterior rear corner brick/clapboard in need of repair

CRANE STREET FACADE IMPROVEMENT PROGRAM



Downspout at 1st floor



Downspout at sidewalk-Create French Drain



Bilco doors- remove and infill wall and sidewalk

CRANE STREET FACADE IMPROVEMENT PROGRAM



Rear Exterior- Window replacement



Exterior Brick in need of re-pointing

CRANE STREET FACADE IMPROVEMENT PROGRAM

OUR PROPOSALS

Renovate the main facade including replacement of the existing wooden HC access ramp at the entry with metal ramp and handrails. A new storefront system will replace the existing, including the entry door to the upstairs apartment. The original clerestory windows above each storefront are important features of this landmark building, it is important to restore the stained glass panels. New signage, if designed as individual backlit letters mounted in front of the clerestory, will highlight the glass.

Repair/replace the existing Slate roof. Closely inspect flat welded metal defining the contours of the dome. Repair all damaged seams with new welds. Remove existing contoured dome to base metal, prime with zinc chromate formulated paint. Select color for finish, 2 coats of metal paint satin finish. Soda blast upper brick to remove dirt and stains. Downspout run off will be redirected. In the rear, the water will be directed into the back yard. On the front, a dry well will be created at the adjacent areaway opening to the basement window. Block up the existing window, waterproof the wall and create a dry well French drain condition to contain the run off at this location. In the front, remove the basement access door, infill the basement wall with masonry, backfill the access stair and pour a new sidewalk. Repoint the brick masonry and repair the roof mounted chimney.

On the first floor, the owner intends to expand the retail into the former daycare space. To facilitate this, a horizontal separation must be added (rated ceiling) between apartment/retail. An existing metal decorative ceiling will be removed/replaced/restored. The thermal properties of the existing windows will be improved with interior storms.

EXTERIOR

Recommendations for complete restoration of the exterior are shown on the façade sketch enclosed. These include:

- new signage;
- repair / replace roof;
- repair/replace metal domed roof;
- soda blast brick, repair & re-point brick & chimney;
- remove bilco doors, infill wall and repair sidewalk;
- construct new storefront, with restored clerestory, full height windows and full-lite doors with aluminum framing on existing knee wall;
- re-route downspouts to rear, drain to French drain.

Repair Slate Roof

Repair flat seam metal roof

Soda blast brick

New signage @ clerestory

Remove basement access & infill

New accessible ramp and handrails



Proposed Facade

CRANE STREET FACADE IMPROVEMENT PROGRAM

CODE REVIEW

New York State Uniform Fire Prevention and Building Code:

- International Building Code (IBC)
- International Mechanical Code (IMC)
- International Plumbing Code (IPC)
- International Existing Building Code (IEBC)
- International Energy Conservation Code (IECC)

Empirical Data:

- Mixed occupancy: Group M (Mercantile), Group R-3 Apartments containing less than 2 dwelling units.
- Type III B construction classification.
- Two story non-sprinkled without separation, less than the maximum 12,500 square feet allowed floor area.
- Fire rated separation (vertical and horizontal between Group M and Group R-3).

New Work:

- Classification of Work: Chapter 5 of the IEBC:
- Alterations – Level 1 & 2

Chapter 6 Repairs:

- 602.2 New and replacement materials. New construction per IBC, like materials shall be permitted for repair. (No dangerous or unsafe condition permitted) hazardous materials are not allowed.
- 602.3 Glazing in hazardous locations shall comply with IBC.

Chapter 7-8 Alterations level 1 & 2:

- 702.1 All new interior finishes shall comply with the IBC.
- 702.3 All new interior trim shall comply with the IBC.
- 702.3 All new work shall comply with the materials and methods requirements of the IBC & IECC.
- 705.1 Altered facility shall comply with Chapter 11 of the IBC if technically feasible.
- 705.1.1 Entrances are required to be accessible unless facility has an existing accessible entrance.
- 705.1.4 Ramps with a maximum rise of 3” are allowed to be no steeper than 1:8.
- 706.1 Replacement of existing roofing shall comply with the IBC.
- 706.5 Reinstallation of existing slate tile shall be permitted (damaged, cracked or broken tile excepted). Existing vent flashing, metal edges, drain outlets, collars and counter flashings shall not be reinstalled where rusted, damaged or deteriorated.
- 706.6 Flashing shall be reconstructed in accordance with approved manufacturer’s installation instructions.
- 708.1 Newly installed elements are required to comply with the IECC without requiring the entire buildings compliance with the energy code.
- 805.7.1 Means of egress shall be provided with artificial lighting in accordance with the IBC.
- 805.8.1 Work area exit signs are required in accordance with the IBC.
- 808.1 Newly installed electrical equipment and wiring shall comply with the applicable requirements of NFPA70.
- 809.1 Reconfigured or converted spaces shall be provided with natural ventilation or comply with IMC for mechanical ventilation.
- 811.1 Alterations shall conform to the energy requirements of the IECC as they relate to new construction only.

CRANE STREET FACADE IMPROVEMENT PROGRAM

EXISTING

First Floor- Retail Space- No change
Second Floor- (2) 1 Bedroom / 1 Bath Apartment
(2) 2 Bedroom /1 Bath Apartment

**RAMESH WEST-INDIAN
AMERICAN GROCERY**
822 CRANE STREET
SCHENECTADY, NY 12303

PROPOSED

First Floor- Retail Space- No change
Second Floor - (2) 1 Bedroom / 1 Bath Apartment
(2) 2 Bedroom /1 Bath Apartment

OVERVIEW

A two-story building currently occupied as a ground floor (retail grocery store) with a 4-unit apartment above. The property is accessed by on street parking only for grocery store patrons; tenants have off street parking in the rear of property.



Existing Exterior Facade

CRANE STREET FACADE IMPROVEMENT PROGRAM



Brick Masonry-Re-point; Rebuild/Re-point Chimney Above



New finishes Second Floor Balcony

CRANE STREET FACADE IMPROVEMENT PROGRAM



Ample onsite Parking



Exit Blocked by Cooler



Confirm the Entrance Door Meets Requirements of ICE Accessibility Code

CRANE STREET FACADE IMPROVEMENT PROGRAM



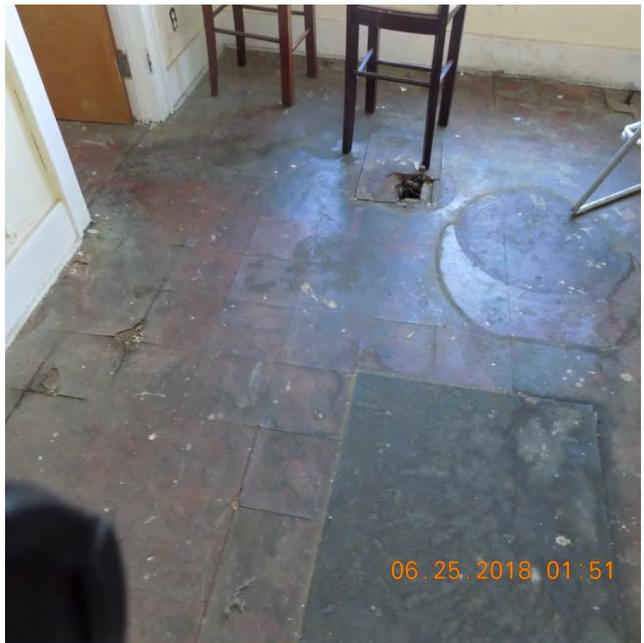
Corridor Requires ½ Hour Rating



Water damage at Existing Second Floor



Typical Finishes Condition



Typical Second Floor Finishes

CRANE STREET FACADE IMPROVEMENT PROGRAM



Exposed Water Pipes-Enclose- Typical Finishes



Typical Finishes



Typical Finishes

CRANE STREET FACADE IMPROVEMENT PROGRAM



Exterior Second Floor Stair- Needs Handrails



Second Floor Skylight x (2) - Repair/Replace

CRANE STREET FACADE IMPROVEMENT PROGRAM

OUR PROPOSALS

The upstairs apartment layouts will be maintained as previously occupied. The facade renovations will reflect the use on the first floor while maintaining the residential aspect of the second. The upstairs apartments will be offered for rent.

EXTERIOR

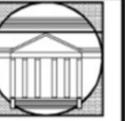
Recommendations for complete restoration of the exterior are shown on the façade sketch enclosed. These include:

- construct new storefront, with transoms, full height windows and full light doors with aluminum framing on existing knee wall;
- fix sagging utility wires out front;
- trim tree on front sidewalk;
- new signage and exterior lighting;
- paint brick;
- replace exterior tile at entrance;
- replace metal access doors in front sidewalk;
- energy efficient window replacement- Second Floor;
- brick re-pointing;
- install vinyl awning stretched over polycarbonate clear rigid panels.



Proposed Facade

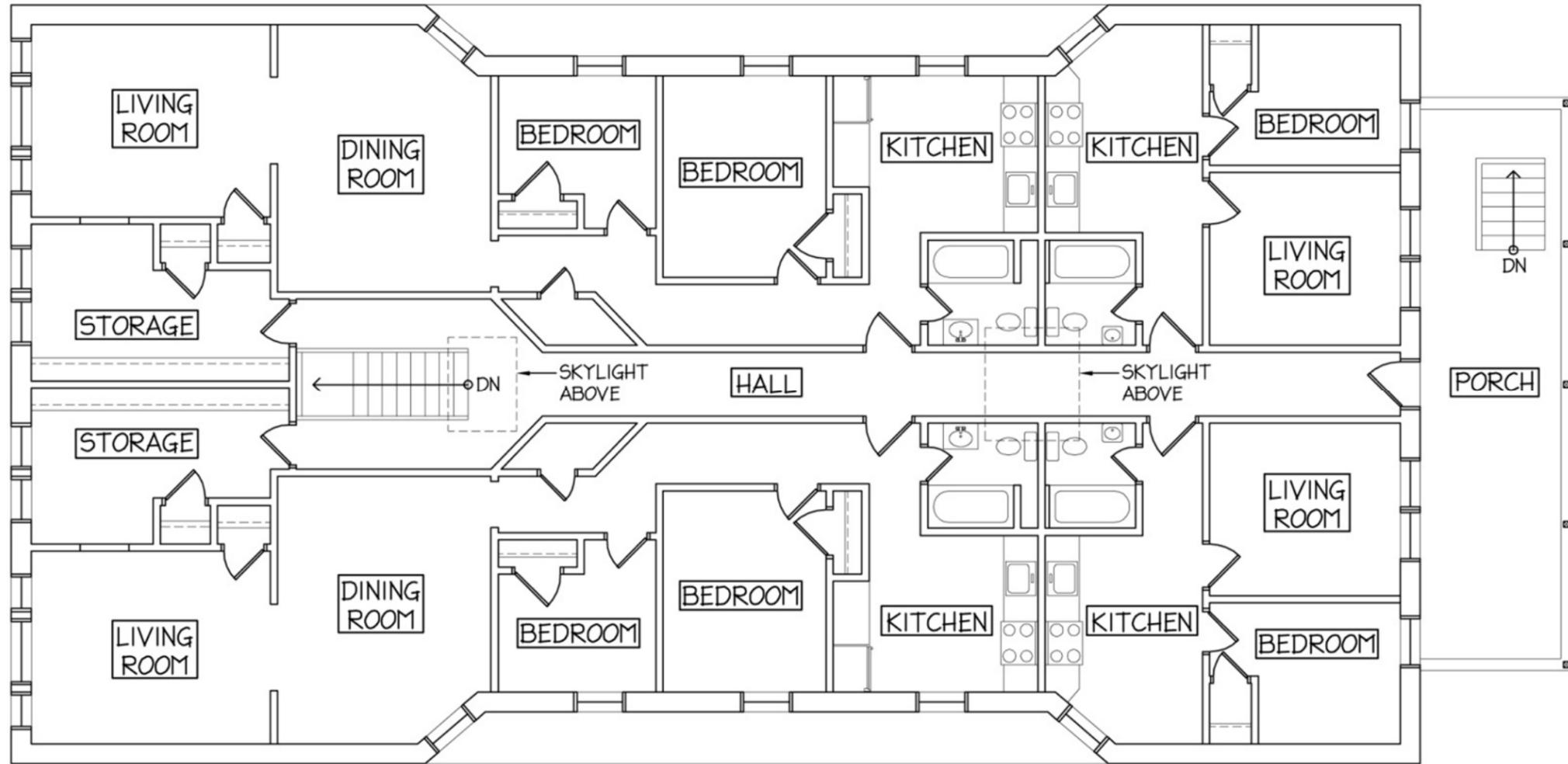
CRANE STREET FACADE IMPROVEMENT PROGRAM



SRG
STRACHER ROTH GILMORE
ARCHITECTS

ARCHITECTURE
PLANNING
INTERIOR DESIGN
REHABILITATION
143 JAY STREET
SCHENECTADY, NY 12305
(518) 374-9142
FAX (518) 374-0992
info@srgrch.com

SEAL



PROJECT TITLE
2nd FLOOR APARTMENTS AT:
822 CRANE STREET
SCHENECTADY, NEW YORK

REVISIONS	NO.	DATE	DESCRIPTION

DATE: 6-27-2018

SCALE: AS NOTED

DRAWN BY: TP

CHECKED BY: DF

SHEET TITLE

2nd
FLOOR
PLAN

SHEET

A1

COMP. NO. 1713.01

1 2nd FLOOR PLAN
1/8" = 1'-0"

CRANE STREET FACADE IMPROVEMENT PROGRAM

CODE REVIEW

New York State Uniform Fire Protection and Building Code:

- International Building Code (IBC)
- International Mechanical Code (IMC)
- International Plumbing Code (IPC)
- International Existing Building Code (IEBC)
- International Energy Conservation Code (IECC)

Empirical Data:

- Mixed occupancy: Group M, Market Ground Floor; Group R-2 Apartments above;
- Type IIIB construction classification
- Two story non-sprinkled without separation, less than the maximum 9,000 square feet allowed floor area.

New Work:

Classification of Work: Chapter 5 of the (IEBC):

- Repairs; Alterations – Level 3, 2, 1

Chapter 6 Repairs (IEBC):

- 602.1 Existing building materials in compliance with requirements in effect at time of erection are permitted to remain.
- 602.2 New building materials must meet the requirements of the current IBC.
- 602.3 New glazing must comply with the hazardous glazing requirements of the IBC.
- 606.1 New structural members and connections to comply with requirements of the IBC for new construction, existing dangerous conditions shall be eliminated.
- 607.1 Existing electrical wiring and equipment undergoing repair is allowed to be replaced with like material. Replacement elements shall comply with NFPA70.
- 608.0 Mechanical repairs shall maintain the conformance of the existing mechanical system design.
- 609.1 Plumbing materials & supplies shall comply with the IPC.
- 609.2 Water closet replacement shall not exceed 1.6 gallon flush cycle.

Chapter 7, 8 & 9 Alteration- Levels 1, 2, 3 (IEBC)

Building Elements and Materials:

- 702.1 Newly installed materials to comply with IBC.
- 702.2 New interior floor finish (carpeting) to comply with IBC.
- 702.3 New interior trim to comply with IBC.
- 803 Existing vertical openings (exit stair) are not required to be enclosed. Except for R-2 with less than 205' exit access travel distance.

Fire Protection:

- 804.1.1 Corridor rating in accordance with IBC table 1020.1 (.5 Hour rated w/sprinkler).
- 804.2.2 Sprinkler system for apartment floor and stair is required if municipal water supply has sufficient pressure available for design of system.(if not sections INC 907.4, 907.5, 907.6 regarding smoke detection and occupant notification apply).
- 804.4.3 Individual smoke alarms for dwelling units are required according to the IBC.

CRANE STREET FACADE IMPROVEMENT PROGRAM

Means of Egress:

- 805.5.1 With sprinklers, existing corridor doors are acceptable if they can be shown to resist smoke and are provided with door closers.
- 805.7.1 Artificial means of egress lighting is required per IBC.
- 805.8.1 Means of egress exit signs required per IBC.
- 805.9.1 Handrails are required the full length of all stairways (at-least one side) designed and installed in accordance with IBC provisions.
- 805.11.1 Guards are required at every portion of stairway landing more than 30inches above floor or grade below. To be designed and installed in accordance with the IBC.

Accessibility:

- 705.1.1 Entrance to first floor grocery store is required to have accessible entrance, meeting the requirements of the IBC.

Energy Conservation:

- 708.1 All new elements and materials to comply with the IECC without requiring entire structure to comply.

CRANE STREET FACADE IMPROVEMENT PROGRAM

EXISTING

First Floor -Takeout Retail Establishment.

COMBO'S FISH FRY

865 CRANE STREET
SCHENECTADY, NY 12303

PROPOSED

First Floor- modify counter to fit deli case, privacy wall at register. Replace counter tops, match existing color.

OVERVIEW

A one-story commercial food preparation /vendor, there are no dining provisions on premise; take-out only. This Crane Street property has access to on-street parking and sees significant pedestrian and vehicular traffic due to its location. On-site parking for patrons is not available. Combo's Fish Fry has been a popular establishment for decades. Its half century old enameled panel façade is a local icon on Crane Street.



Existing Exterior Facade

CRANE STREET FACADE IMPROVEMENT PROGRAM



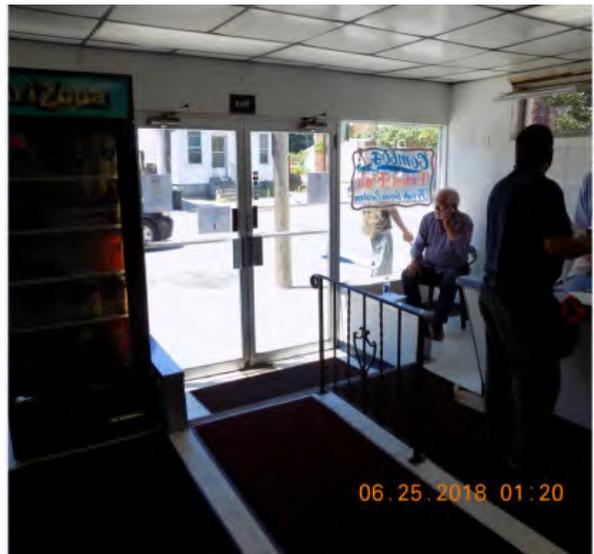
Exterior Side - Needs new Siding



Exterior Side - Needs new Siding



Existing Interior – Needs New Counters



Existing Interior – Needs New Storefront

CRANE STREET FACADE IMPROVEMENT PROGRAM

OUR PROPOSALS

Owner wants to take advantage of the financial assistance available for facade renovations. Additional consideration should be given to the other 2 exterior walls that front on the two alleys, separating the property from the adjacent lots. The back and sides are not under consideration at this time.

The present “look” of the building- solid blue metal panel system with surface applied signage graphics is preferred and has been deemed appropriate for this property because it is perceived as a local landmark. The existing glazed aluminum storefront system is to be replaced. A new fabric awning stretched over clear polycarbonate rigid panels, with lighting over the entry will complete the street elevation. The existing aluminum siding on the sides will be replaced with composite wood or cement board prefinished siding.

EXTERIOR

Recommendations for complete restoration of the exterior are shown on the suggested facade sketch enclosed and the following:

- provide new awning over store front with down lighting, new logo on awning;
- construct new storefront, with full height windows and doors with aluminum framing on existing knee wall;
- new metal panels, match existing color, street address on facade;
- business name on top of building to be made of individual backlit free standing letters in an Art Deco font;
- new siding on each side (Boral or fiber cement board-colors to match existing).



Proposed Facade

CRANE STREET FACADE IMPROVEMENT PROGRAM

CODE REVIEW

New York State Uniform Fire Protection and Building Code:

- International Building Code (IBC)
- International Existing Building Code (IEBC)

Empirical Data:

- Business Group B – IBC chapter 3
- Type IIIb Construction Classification
- One story-non sprinkled, 9,000 square foot area
- Allowed IBC chapter 5

New Work:

Classification of Work -Chapter 5 IEBC:

- Alterations-Level 1- IEBC

Chapter 7 Alteration- Level 1 (IEBC)

- Section 702.6 Materials and Methods: All new work shall comply with requirements of the IEBC
- Section 704.1 Means of Egress: Maintain existing level of egress
- Section 705.1 Accessibility: Alteration shall provide access to the maximum extent technically feasible. Currently the entry provides wheelchair access to the building. However, existing interim step up to floor level excludes wheelchair access to the service counter. There is not enough space to provide a ramp and maintain the layout of the facility. Currently a wheelchair patron is provided with special service. They are able to enter the conditioned space and there are no dining facilities offered. Although order / pick up service at the counter would be considered a primary function of the building, exception one of 705.2 Alterations affecting an area containing a primary function does not require the owner to spend more than 20% of the cost of the renovation on providing access as would be the case with this element.
- Section 708 Energy Conservation: New work shall comply with the requirements of the International Energy Conservation Code without the rest of the building to comply.

CRANE STREET FACADE IMPROVEMENT PROGRAM

EXISTING

First Floor- Retail Space
Second Floor- (1) 4 Bedroom / 1 Bath Apartment

MAMI'S RESTAURANT
902 CRANE STREET
SCHENECTADY, NY 12303

PROPOSED

First Floor- Eat-in Restaurant
2400 +/- sf
Second Floor- (1) 4 Bedroom / 1 Bath Apartment
1600 +/- sf

OVERVIEW

A two-story building previously occupied as a ground floor business (a commercial print office) with a 4 bedroom / 1 bath apartment above. The property is accessed from on street parking only, with limited off street parking for both occupancies in the rear lot. The single entrances to the upstairs apartment, as well as the back entrance to the ground floor business, are located off this lot. Additionally, a two-bay two-story garage is available on the property.



Existing Exterior Facade

CRANE STREET FACADE IMPROVEMENT PROGRAM



Side Exterior Finish and Window Replacement



Rear Exterior Finish & Window Replacement



Existing Garage and Parking Lot

CRANE STREET FACADE IMPROVEMENT PROGRAM



Replace Existing First Floor Roof



Replace Existing First Floor Roof

CRANE STREET FACADE IMPROVEMENT PROGRAM



Existing First Floor Vandalism



Existing First Floor Ceiling Water Damage



Existing Second Floor Vandalism

CRANE STREET FACADE IMPROVEMENT PROGRAM



Existing Second Floor Vandalism



Existing Second Floor Fixture – Needs Upgrade



Existing Second Floor Vandalism

CRANE STREET FACADE IMPROVEMENT PROGRAM

OUR PROPOSALS

Change the first floor to an eat-in restaurant while maintaining the second floor apartment. The street level renovations will be changed to reflect the new use on the first floor while the renovations to the apartment will reflect the residential aspect. The first floor restaurant will provide dining facilities with a commercial kitchen, pantry and walk-in cooler/freezer combo with most of the equipment provided by the prospective owners move from across the street. New furnishings and additional equipment will be part of the project scope. The upstairs apartment will require modification based on the requirements imposed by the applicable building codes. As the building is currently configured, the single stair does not meet the means of egress requirements. To remedy the situation alternates will be explored including the installation of a sprinkler system for the apartment, or the addition of a second exit, being an additional stair or fire escape.

EXTERIOR

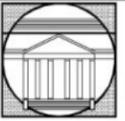
Recommendations for complete restoration of the exterior are shown on the façade sketch enclosed. These include:

- construct new storefront, with transoms, full height windows and full light doors with aluminum framing on reconstructed knee wall;
- new signage and exterior lighting;
- remove aluminum siding exposing wood clapboard/cedar shakes, prime, paint & replace where necessary;
- install fire escape for second floor apartment use;
- new roof on both the first & second floor buildings;
- energy efficient window replacement where needed;



Proposed Facade

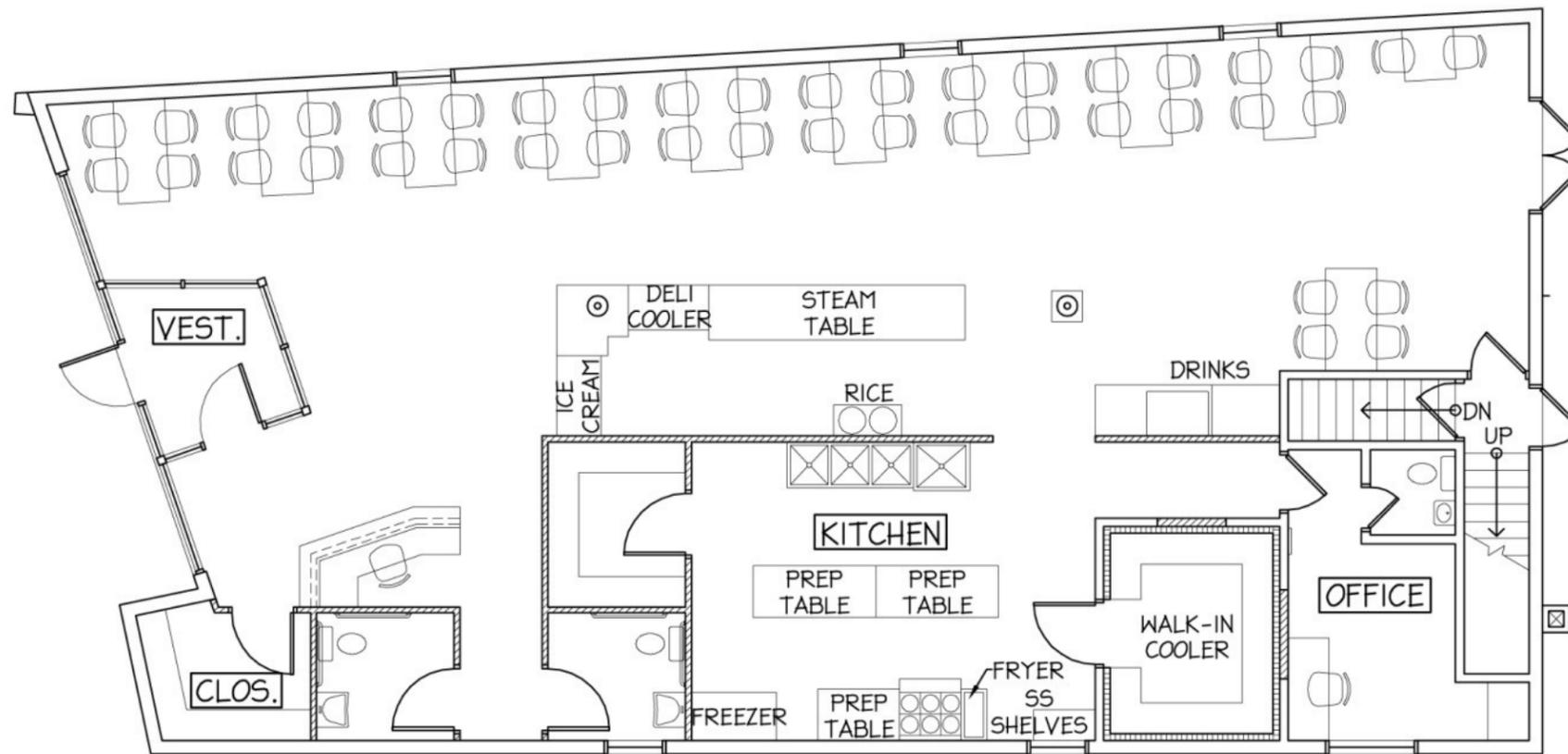
CRANE STREET FACADE IMPROVEMENT PROGRAM



SRG
STRACHER ROTH GILMORE
ARCHITECTS

ARCHITECTURE
PLANNING
INTERIOR DESIGN
REHABILITATION
143 JAY STREET
SCHENECTADY, NY 12305
(518) 334-9442
FAX (518) 334-4049
info@srqarch.com

SEAL



PROJECT TITLE
**MAMI'S RESTAURANT
902 CRANE STREET
SCHENECTADY, NEW YORK**

NO.	DATE	DESCRIPTION

DATE: 6-28-2018

SCALE: AS NOTED

DRAWN BY: TP

CHECKED BY: DF

SHEET TITLE

**1st
FLOOR
PLAN**

SHEET

A1

FORM NO. 1713.01

1 PROPOSED FLOOR PLAN (MAMI'S RESTAURANT)
1/8" = 1'-0"

CRANE STREET FACADE IMPROVEMENT PROGRAM

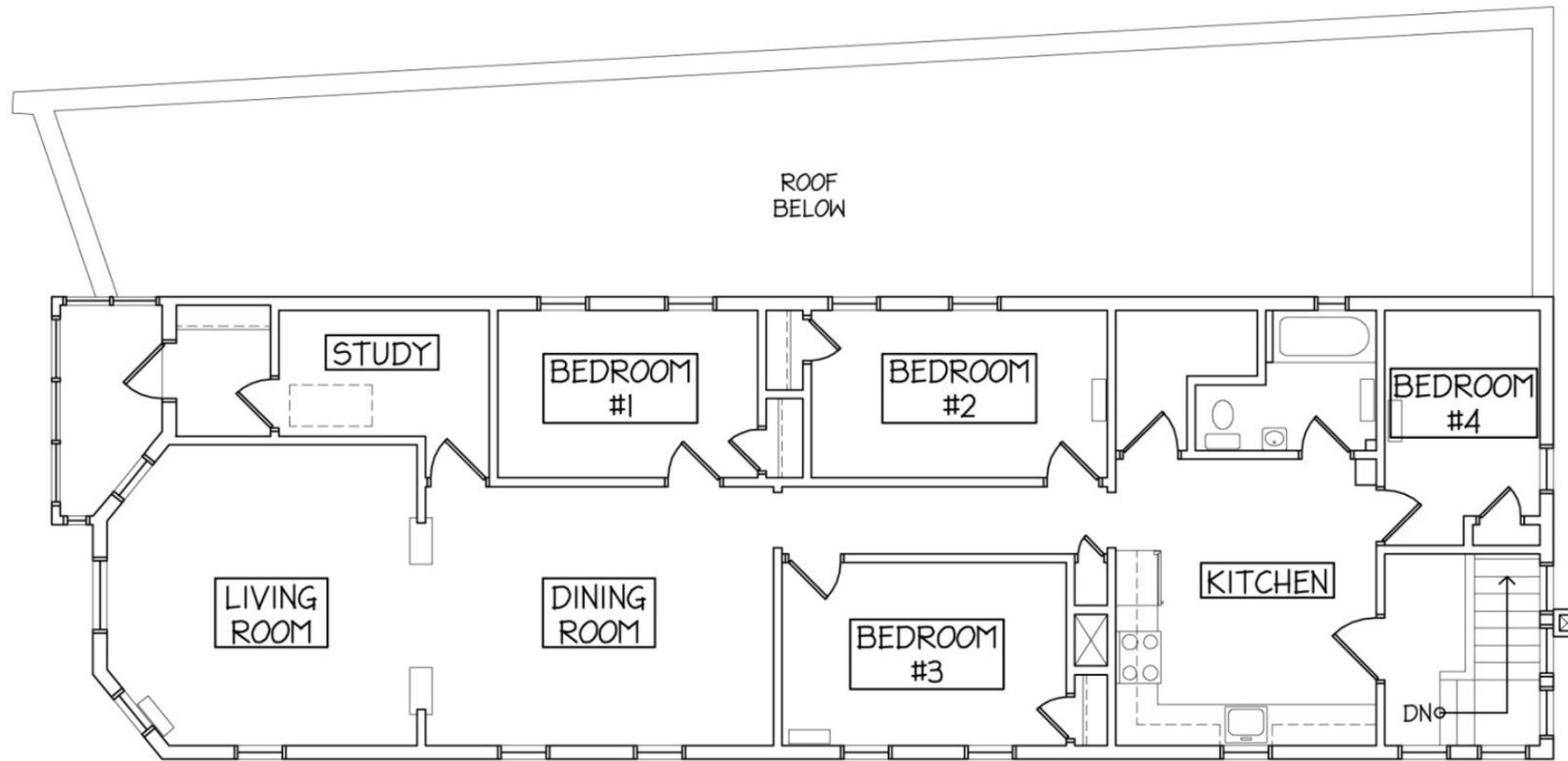


SRG
STRACHER ROTH GILMORE
ARCHITECTS

ARCHITECTURE
PLANNING
INTERIOR DESIGN
REHABILITATION

143 JAY STREET
SCHENECTADY, NY 12305
(518) 374-9412
FAX (518) 374-4010
info@srgarch.com

SEAL



PROJECT TITLE
2nd FLOOR APARTMENT AT:
902 CRANE STREET
SCHENECTADY, NEW YORK

REVISIONS		
NO.	DATE	DESCRIPTION

DATE: 6-28-2018

SCALE: AS NOTED

DRAWN BY: TP

CHECKED BY: DF

SHEET TITLE

2nd
FLOOR
PLAN

SHEET

A2

COMM. NO. 1713.01

1 2nd FLOOR PLAN
1/8" = 1'-0"

CRANE STREET FACADE IMPROVEMENT PROGRAM

CODE REVIEW

New York State Uniform Fire Prevention and Building Code:

- International Building Code (IBC)
- International Mechanical Code (IMC)
- International Plumbing Code (IPC)
- International Existing Building Code (IEBC)
- International Energy Conservation Code (IECC)

Empirical Data:

- Mixed occupancy: Group B (Business), Group R-3 Apartments containing less than 2 dwelling units.
- Type 5B construction classification.
- Two story non-sprinkled without separation, less than the maximum 9,000 square feet allowed floor area.

New Work:

Classification of Work: Chapter 5 IEBC:

- Change of Occupancy
- Alterations – Level 3,2,1

Chapter 10 Change of Occupancy:

- 1001.2.2.1 Partial change of occupancy, Group G Business to Group A-2 Restaurant
- 1008.3 Electrical service upgrade Restaurant to meet the requirements of NFPA70
- 1008.4 Number of Electrical outlets in Restaurant to meet the requirements of NFPA70
- 1009.1 Kitchen exhaust requirements to meet the requirements of Mechanical Code for New Occupancy
- 1010.1 Increased plumbing demand to meet the requirements of Plumbing Code for New Occupancy.
- 1010.2 Food handling, existing sanitary lines above food/drink prep or storage shall be panned
- 1010.3 Interceptor for grease or oil-laden waste
- 1012 Change of Occupancy Classification
 - 1012.3 Interior finishes per IBC for new use
 - 1012.4.2 Means of egress. First floor exiting means of egress complied. Apartment egress to comply with alterations section of IEBC. (see below)
 - 1012.5.3 A fire barrier is required to separate the first floor from the apartment above. IBC 711.2.4.3 dwelling units horizontal assemblies 1 hour fire-resistance rated construction achieved by 1 hour rated gypsum board ceiling at restaurant.

CRANE STREET FACADE IMPROVEMENT PROGRAM

Chapter 7-9 Alterations:

- 905.2 Means of egress lighting per IBC
- 905.3 Exit signs per IBC
- 908.1 Minimum energy conservation requirements: all new construction shall conform to the energy code
- 805.3.1.1 Single exit building and stories table 805.3.1.1(2). Without sprinklers the exit access travel distance (allowed 50') exceeds the exiting access into the apartment. Adding sprinklers increases this distance to (75') with the upgrade of the existing stair enclosure to 1 hour fire rated construction, this maximum distance is not exceeded, and one stair will suffice.
- 805.3.1.2 A newly constructed fire escape is acceptable to provide one of the required means of egress. This in conjunction with the existing stair would satisfy the means of egress requirements.
- 702.6 All new work shall comply with the materials and methods requirements of the IBC, IEC, IMC and IPC.
- 705.1 A facility that is altered shall comply with the accessibility provisions of the IBC unless technically infeasible, otherwise comply with the maximum extent feasible.
- 705.1.1 Entrance to the restaurant shall be accessible.
- 705.1.5 Dining areas shall be accessible.
- 705.2 Alterations affecting an area of primary function shall be on an accessible route- applicable to restaurant.
- 706.1 Re-roofing existing roof shall comply with IBC (exception - roof slope of existing ok).

CRANE STREET FACADE IMPROVEMENT PROGRAM

EXISTING

First Floor- Restaurant Sports Bar
Second Floor- Apartments
Third Floor- Apartments

EL DORADO SPORTS BAR
939 CRANE STREET
SCHENECTADY, NY 12303

PROPOSED

First Floor- Restaurant Sports Bar
Second Floor- 2 Occupied Apartments
Third Floor- 2 Occupied Apartments

OVERVIEW

A three story building currently occupied as a ground floor Restaurant with (2) unit apartments on the second and third floors. The property is accessed by on street parking only and sees significant pedestrian and vehicular traffic due to its location on Crane Street.



Existing Exterior Facade

CRANE STREET FACADE IMPROVEMENT PROGRAM



Second and Third Floor Window & Siding Replacements



Existing Fire Escape

CRANE STREET FACADE IMPROVEMENT PROGRAM

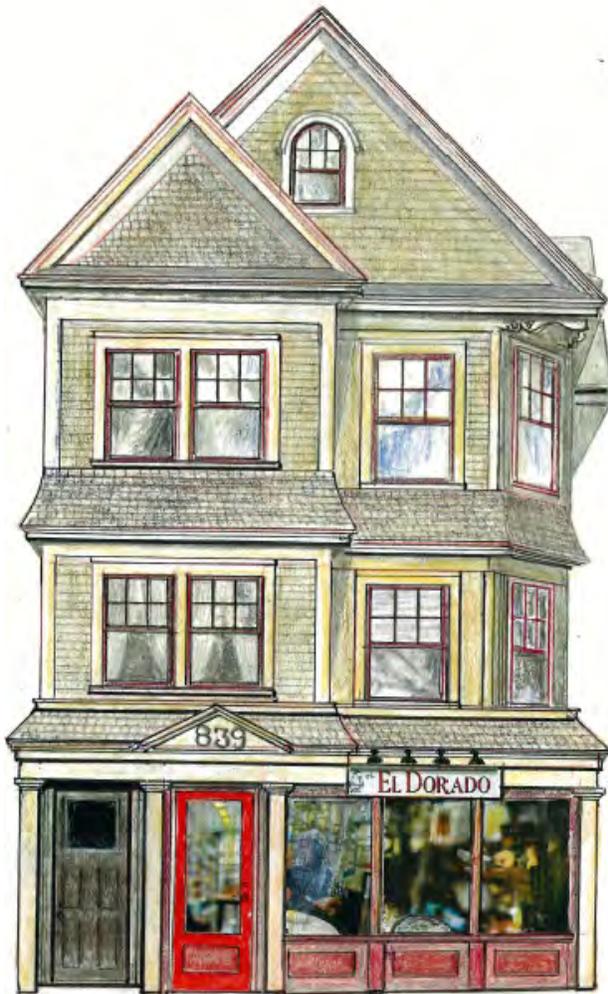
OUR PROPOSALS

Remove aluminum siding applied over original surface for top gables, roll out skirt over hangs, expose and restore original painted moldings. Restore original siding/shingles and fascia board. Scrape and paint original surfaces, re-flash where required. Pressure wash western first floor existing brick to retrieve original color. Replace small double hung windows on second and third floor enclosed porches to match existing larger windows. Remove existing entry door, windows and masonry, replace with new Aluminum storefront. Replace existing first floor exterior door to apartments above.

EXTERIOR

Recommendations for complete restoration of the exterior are shown on the facade sketch enclosed. These include:

- new signage and exterior lighting;
- construct new storefront, full height windows and full light doors with aluminum framing;
- new first floor exterior door to apartments above;
- energy efficient window replacements;
- new siding;
- repair/replace fascia, soffits and moldings;
- revitalize brickwork, re-point where needed.



Proposed Facade



Original Building Vocabulary-
Photograph is from early 1930's

CRANE STREET FACADE IMPROVEMENT PROGRAM

CODE REVIEW

New York State Uniform Fire Prevention and Building Code:

- International Building Code (IBC)
- International Mechanical Code (IMC)
- International Plumbing Code (IPC)
- International Existing Building Code (IEBC)
- International Energy Conservation Code (IECC)

Empirical Data:

- Mixed occupancy
 - Ground Floor Group A-2 (Restaurant)
 - Second Floor Group R-2 Apartments (2 Units)
 - Third Floor Group R-2 Apartments (2 Units)
- Type VB Construction Classification
- Three story non-sprinkled without separation, area less than the allowed 9,000 square feet

New Work:

Classification of Work: Chapter 5 of the IEBC:

- Repair Chapter 6 (IEBC)
- Alterations – Level 1 Chapter 7

Building Elements and Materials:

- 602.1 Existing building materials are permitted to remain if not deemed unsafe or dangerous by the code official.
- 602.2 New and replacement materials as permitted by IBC. Like materials are permitted for repairs and alterations if no dangerous or unsafe conditions result from their use.
- 602.3 Glazing in hazardous locations to comply with safety glazing provisions of IBC.
- 702.1 Interior finishes newly installed to comply with IBC.
- 702.2 New interior floor finish to comply with IBC.
- 702.3 New interior trim materials to comply with IBC.
- 702.6 All new work shall comply with the materials and methods requirement of the IBC, IECC, IMC and IPC.

Fire Protection:

- 603.1 Existing elements of fire protection shall be maintained.

Means of Egress:

- 604.1 Existing elements of the means of egress system shall be maintained.

Accessibility:

- 705.1 Unless technically infeasible, alterations and repairs shall comply with the requirements of the IBC.
 - 705.1.1 Entrances are to provide HC access to primary function areas as described in 705.2. Other entrances are not required to provide access.
 - 705.1.4 Ramps may be steeper than 1:12 if necessary. Rise of 3 inches may slope to 1:8.
 - 705.1.12 Thresholds are to be 3/4 inch maximum, with beveled edges, each side.

Electrical:

- 607.1 Existing wiring and equipment undergoing repair may be replaced/repared with like materials.
 - 607.1.1 Receptacle replacement to comply with NFPA70.

Mechanical:

- 608.1 Repairing existing mechanical systems is not allowed if building will be less conforming than before repair.

CRANE STREET FACADE IMPROVEMENT PROGRAM

Plumbing:

- 609.1 Prohibited materials and supplies by the IPC shall not be used.

Energy Conservation:

- 708.1 Alterations must meet the requirements of the IECC but are permitted without requiring the entire building to comply.

CRANE STREET FACADE IMPROVEMENT PROGRAM

EXISTING

First Floor- (2) Retail Spaces
Second Floor- (2) 2 Bedroom / 1 Bath Apartments
Third Floor- (2) 2 Bedroom / 1 Bath Apartments

G & K LAUNDROMAT
944 CRANE STREET
SCHENECTADY, NY 12303

PROPOSED

First Floor- (2) Retail Spaces
Second Floor - (2) 2 Bedroom / 1 Bath Apartments
Third Floor - (2) 2 Bedroom / 1 Bath Apartments

OVERVIEW

A three story building currently occupied as ground floor businesses (a Retail Grocery Store & a Laundromat) with two apartment floors above; (2) on the second floor and (2) on the third floor. The property is accessed by on street parking only for Grocery Store and Laundromat patrons. Tenants have off street parking on the side of property.



Existing Exterior Facade

CRANE STREET FACADE IMPROVEMENT PROGRAM



Exterior Side- Needs New Finishes/Windows



Exterior Rear-Needs New Finishes/Windows



First Floor Exterior-Needs New Roof/Finishes



Needs New Roof/Finishes; replace fence



Major structural and roof & wall issues

CRANE STREET FACADE IMPROVEMENT PROGRAM



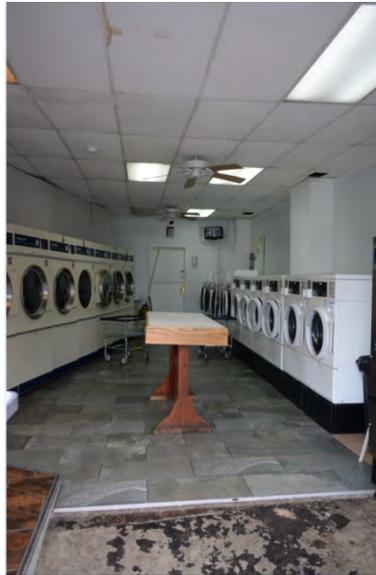
Exterior –Needs Awning, Signage & Lighting



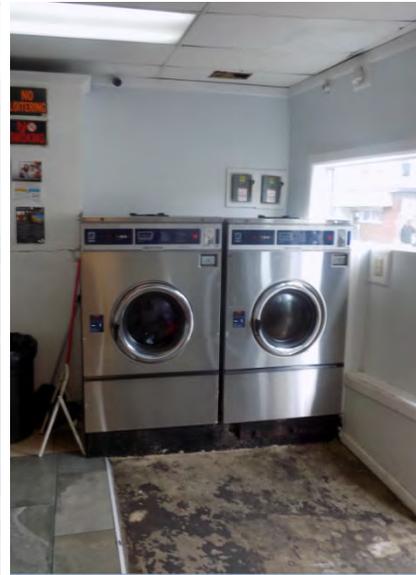
Re-point Brick, New Finishes & Mailboxes



First Floor-Needs New Finishes



First Floor-Needs New Finishes

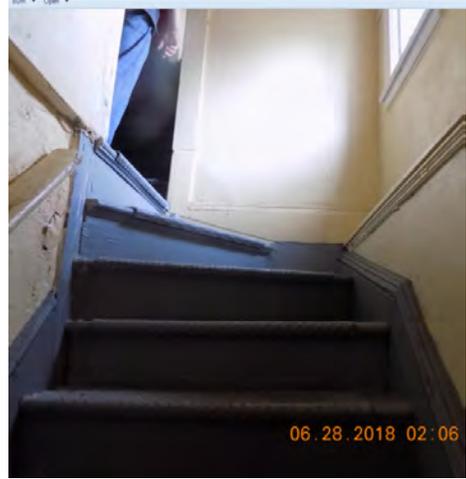


First Floor-Needs New Finishes

CRANE STREET FACADE IMPROVEMENT PROGRAM



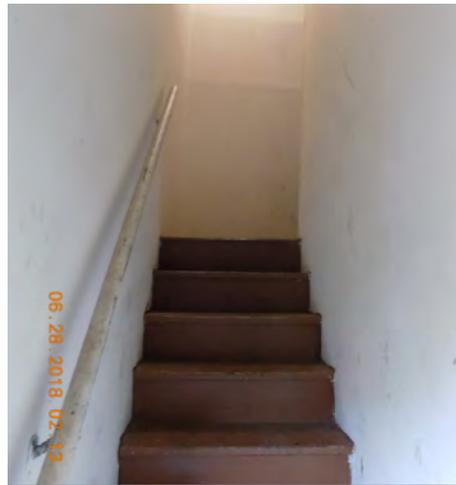
Existing Front Stair-Upgrade/Repair



Existing Front Stair-Upgrade/Repair



Existing Rear Stair-Upgrade/Repair



Existing Fire Escape

CRANE STREET FACADE IMPROVEMENT PROGRAM

OUR PROPOSALS

The upstairs apartment layouts will be maintained as currently occupied, updating all of the kitchen and bathroom fixtures and replacing the existing windows with new energy efficient models. The facade renovations will reflect the businesses on the first floor while maintaining the residential aspect of the second. The roof of the first floor Laundromat needs to be repaired / replaced. The upstairs apartments are currently occupied and other than the work mentioned above, are to remain as configured.

EXTERIOR

Recommendations for complete restoration of the exterior are shown on the façade sketch enclosed. These include:

- new full-lite door and transom with aluminum framing;
- new signage and exterior lighting;
- replace metal trim & soffit;
- new siding;
- replacement energy efficient windows in each apartment (4);
- new roof over Laundromat;
- replace picket fence;
- construct new rear entrance.



CRANE STREET FACADE IMPROVEMENT PROGRAM

CODE REVIEW

New York State Uniform Fire Prevention and Building Code:

- International Building Code (IBC)
- International Mechanical Code (IMC)
- International Plumbing Code (IPC)
- International Existing Building Code (IEBC)
- International Energy Conservation Code (IECC)

Empirical Data:

- Mixed Occupancy: Ordinary
 - Ground Floor Group B Business (Laundromat)
Group M Mercantile (Grocery Store)
 - Second Floor Group R-2 Apartments (2 Units)
 - Third Floor Group R-2 Apartments (2 Units)
- Type VB Construction Classification
- Three story non-sprinkled without separation, area less than the allowed 9,000 square feet

New Work:

Classification of Work: Chapter 5 of the IEBC:

- Repair Chapter 6 (IEBC)
- Alterations – Level 1 Chapter 7

Building Elements and materials:

- 602.1 Existing building materials are permitted to remain if not deemed unsafe or dangerous by the code official.
- 602.2 New and replacement materials as permitted by IBC. Like materials are permitted for repairs and alterations if no dangerous or unsafe conditions result from their use.
- 602.3 Glazing in hazardous locations to comply with safety glazing provisions of IBC.
- 702.1 Interior finishes newly installed to comply with IBC.
- 702.2 New interior floor finish to comply with IBC.
- 702.3 New interior trim materials to comply with IBC.
- 702.6 All new work shall comply with the materials and methods requirement of the IBC, IECC, IMC and IPC.

Fire Protection:

- 603.1 Existing elements of fire protection shall be maintained.

Means of Egress:

- 604.1 Existing elements of the means of egress system shall be maintained.

Accessibility:

- 705.1 Unless technically infeasible, alterations and repairs shall comply with the requirements of the IBC.
 - 705.1.1 Entrances are to provide HC access to primary function areas as described in 705.2. Other entrances are not required to provide access.
 - 705.1.4 Ramps may be steeper than 1:12 if necessary. Rise of 3 inches may slope to 1:8.
 - 705.1.12 Thresholds are to be 3/4 inch maximum, with beveled edges, each side.

Reroofing:

- 706.1 Material and methods guidelines for recovering/replacing shall comply with IBC. Design slope requirements minimum of 1:12 (2% slopes) are not required if existing configuration provides positive drainage.
- 706.3 Recover versus replacement guidelines must be met.
- 706.6 Flashings are to be reconstructed in accordance with roofing manufacturer's guidelines.

CRANE STREET FACADE IMPROVEMENT PROGRAM

Electrical:

- 607.1 Existing wiring and equipment undergoing repair may be replaced/repaired with like materials.
- 607.1.1 Receptacle replacement to comply with NFPA70.

Mechanical:

- 608.1 Repairing existing mechanical systems is not allowed if building will be less conforming than before repair.

Plumbing:

- 609.1 Prohibited materials and supplies by the IPC shall not be used.

Energy Conservation:

- 708.1 Alterations must meet the requirements of the IECC but are permitted without requiring the entire building to comply.

CRANE STREET FACADE IMPROVEMENT PROGRAM

NEW HOPE BANQUET HALL
1090 CRANE STREET
SCHENECTADY, NY 12303

EXISTING

First Floor - Banquet Hall

Partial Second Floor- Apartment above a portion of the building

PROPOSED

First Floor- Continue use as Banquet Hall

Partial Second Floor- Continue use as Apartment

OVERVIEW

A one story building with a partial 2nd story apartment attached. The building is to undergo repairs and alterations relating to Crane Street facade and side street face, with an emphasis on main entry. Also request a total roof replacement of the banquet hall, total ceiling replacement in the hall and finishes of wall surfaces.



Existing Exterior Facade

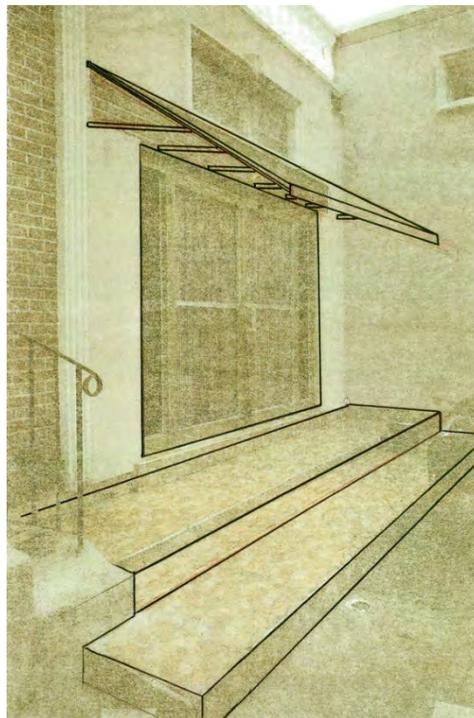
CRANE STREET FACADE IMPROVEMENT PROGRAM



Repair EIFS-Existing newly installed synthetic stucco finish has been damaged by vandalism.



Existing entry requires a landing on the outside even with the floor surface inside; new steps must be constructed. Area above doors had a cover that was removed. Install canopy/awning over doors.



Code compliance upgrades. The new awning will have standard clear polycarbonate structural sheathing beneath the awning fabric.



Existing entry steps to be removed / replaced.

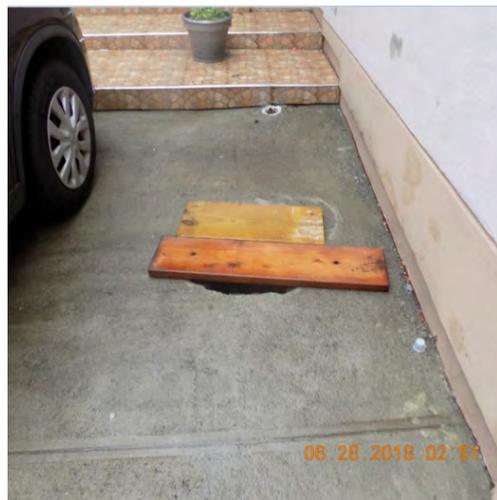
CRANE STREET FACADE IMPROVEMENT PROGRAM



Existing exterior EIFS & trim damaged. Repair/replace in kind with EIFS repair technique.



Existing Parking Lot - Concrete sidewalk will be installed to city standards.



Existing Exterior – Concrete sidewalk needs repair at least two locations

CRANE STREET FACADE IMPROVEMENT PROGRAM



Existing Interior - Water Damage in Ceiling



Existing Interior- Water Damage in Ceiling



Existing Interior- Water Damage in Ceiling

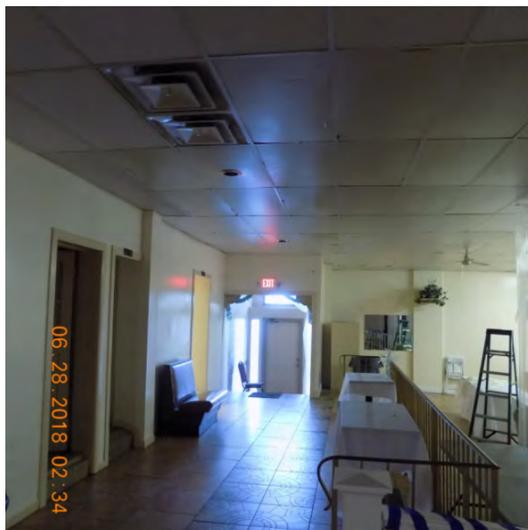
CRANE STREET FACADE IMPROVEMENT PROGRAM



Existing Interior HC access-New finishes & handrails for ramp



Existing Interior- Needs new wall finishes



Existing Interior- Needs new wall finishes

CRANE STREET FACADE IMPROVEMENT PROGRAM

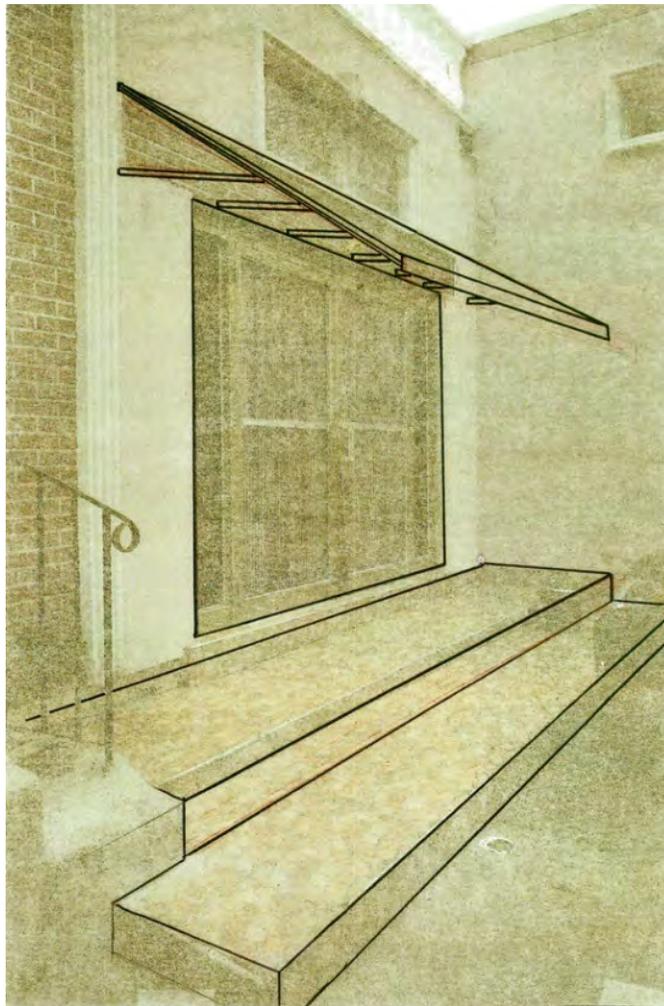
OUR PROPOSALS

The upstairs apartment layouts will be maintained as currently occupied. The facade renovations will reflect the businesses on the first floor, including a new covered front entry with landing, repair/replace the EIFS wall covering, new signage and exterior lighting. The roof of the first floor Banquet Hall has severe damage and needs to be repaired / replaced. The concrete sidewalk at the main entryway needs repair, and the adjacent parking lot needs to be provided with a concrete sidewalk. Interior work to include new wall finishes, entire replacement of the Banquet Hall ceiling, updating of the accessible ramp with new handrails and finishes.

EXTERIOR

Recommendations for complete restoration of the exterior are shown on the façade sketch enclosed. These include:

- repair / replace EIFS wall covering;
- provide new signage and exterior lighting;
- repair / replace roof;
- provide new covered entry;
- provide new landing off front entrance;
- repair holes in concrete sidewalk;
- provide concrete sidewalk at adjacent parking lot.



Proposed Facade

CRANE STREET FACADE IMPROVEMENT PROGRAM

CODE REVIEW

New York State Uniform Fire Prevention and Building Code:

- International Building Code (IBC)
- International Mechanical Code (IMC)
- International Plumbing Code (IPC)
- International Existing Building Code (IEBC)
- International Energy Conservation Code (IECC)

Empirical Data:

- Mixed occupancy: First floor Banquet Hall Assembly Group A-2
Second floor Residential Group R-3
- Construction Classification: IIB
- Two story non-sprinkled without separation, existing 13,000 sq. ft. area exceeds that allowed for non-sprinkled type construction and use under current new construction standards for IBC, but would be allowed as a change of occupancy/use under the IEBC.

New Work:

Classification of Work -Chapter 5 IEBC:

- Alterations-Level 1- IEBC
- Repairs Chapter 6 IEBC
- Change of Occupancy Chapter 10 IEBC (on going)

Building Elements and Material:

- 602.1 Existing building materials are permitted to remain if not deemed unsafe or dangerous by code official.
- 602.2 New and replacement materials as permitted by IBC. Like materials are permitted for repairs and alterations if no dangerous or unsafe conditions result from their use.
- 602.3 Glazing in hazardous locations to comply with safety glazing in hazardous provisions of IBC.
- 702.1 Interior finishes newly installed to comply with IBC.
- 702.2 New interior floor finish to comply with IBC.
- 702.3 New interior trim materials to comply with IBC.
- 702.6 All new work shall comply with the materials and methods requirements of the IBC, IECC, IMC, and IPC.

Fire Protection:

- 603.1 Existing elements of fire protection shall be maintained.

Means of Egress:

- 604.1 Existing elements of the means of egress system shall be maintained.

Accessibility:

- 705.1 Unless technically infeasible, alterations and repairs shall comply with the requirements of the IBC.
- 705.1.1 Entrances are to provide HC access to primary function areas as described in 705.2. Other entrances are not required to provide access.
- 705.1.1 Ramps may be steeper than 1:12 if necessary. Rise of 3 inches may slope to 1:8.
- 705.1.12 Thresholds are to be ¾ inch maximum, with beveled edges, each side.

CRANE STREET FACADE IMPROVEMENT PROGRAM

Re-Roofing:

- 706.1 Materials and methods guidelines for recovering/replacing shall comply with IBC. Design slope requirement minimum of 1:12 (2% slope) are not required if existing configuration provides positive drainage.
- 706.3 Recover versus replace guidelines must be met.
- 706.6 Flashings are to be reconstructed in accordance with roofing manufacturer's guidelines.

Electrical:

- 607.1 Existing wiring and equipment undergoing repair may be replaced/repared with like material.
- 607.1.1 Receptacle replacement to comply with NFPA70.

Mechanical:

- 608.1 Repairing existing mechanical systems is not allowed if building will be less conforming than before repair.

Plumbing:

- 609.1 Prohibited materials and supplies by IPC shall not be used.

Energy Conservation:

- 708.1 Alterations must meet the requirements of the IECC, but are permitted without requiring the entire building to comply.

CRANE STREET FACADE IMPROVEMENT PROGRAM

ESTIMATE

727 CRANE STREET STOP AND GO GROCERY

General Requirements

PERMIT FEES	\$750
LEAD & ASBESTOS TESTING	\$2,500
ARCHITECT & ENGINEERING	\$7,004
INSURANCE	\$500
CONSTRUCTION MGT. & GENERAL PROJECT MGT.	\$4,801
TOTAL SOFT COSTS	\$15,555

Construction

LEAD & ASBESTOS ABATEMENT	\$1,500
DEMOLITION/DEBRIS REMOVAL	\$1,200
STOREFRONT/GLAZING	\$6,500
SIGNAGE	\$1,800
EXTERIOR LIGHTING	\$1,500
APARTMENT STEPS REPAIR & ADD RAILINGS	\$1,200
STANDING SEAM METAL AWNING	\$6,500
EIFS CORNICE	\$1,200
LANDSCAPING	\$1,800
CHIMNEY REPAIR	\$2,000
VINYL SIDING REPAIR	\$1,200
RE-POINT BRICK & PAINT	\$6,500
WINDOW REPLACEMENT	\$2,500
SLATE ROOF REPAIR	\$15,000
SCUPPER/DOWNSPOUT REPAIR	\$2,500
CEILING REPAIR	\$750
2 ND FLOOR BATHROOM UPGRADE	\$4,250
EXTEND HVAC DUCTS TO APARTMENT	\$2,200
TOTAL CONSTRUCTION COSTS	\$60,900
15% CONTINGENCY	\$9,135

812 CRANE STREET MARCELLA'S

General Requirements

PERMIT FEES	\$1,250
LEAD & ASBESTOS TESTING	\$3,000
ARCHITECT & ENGINEERING	\$18,400
INSURANCE	\$750
CONSTRUCTION MGT. & GENERAL PROJECT MGT.	\$7,787
TOTAL SOFT COSTS	\$31,187

Construction

LEAD & ASBESTOS ABATEMENT	\$4,500
DEMOLITION/DEBRIS REMOVAL	\$22,500
STOREFRONT/GLAZING	\$16,000
SIGNAGE	\$3,000
EXTERIOR LIGHTING	\$3,500

CRANE STREET FACADE IMPROVEMENT PROGRAM

PAINT (WOOD & BRICK)	\$12,500
NEW METAL WALL PANELS AT WAREHOUSE	\$58,000
NEW EPDM ROOF	\$24,500
6 FT. FENCE AROUND PARKING LOT	\$18,250
(4) UNIT APARTMENTS UPSTAIRS-(\$3,600sf. X \$100sf.)	\$360,000
TOTAL CONSTRUCTION COSTS	\$527,750
15% CONTINGENCY	\$79,163

815-819 CRANE STREET **SHREYAS EXCLUSIVE**

General Requirements

PERMIT FEES	\$500
LEAD & ASBESTOS TESTING	\$2,500
ARCHITECT & ENGINEERING	\$8,343
INSURANCE	\$500
CONSTRUCTION MGT. & GENERAL PROJECT MGT.	\$5,337
TOTAL SOFT COSTS	\$17,180

Construction

LEAD & ASBESTOS ABATEMENT	\$1,800
DEMOLITION/DEBRIS REMOVAL	\$1,500
RESTORE (2) ORIGINAL STAINED GLASS CLERESTORY	\$1,200
BACKLIT SIGNAGE	\$2,250
BRICK REPOINTING	\$4,500
STOREFRONT/GLAZING	\$12,500
WINDOW REPLACEMENT AT REAR	\$5,500
REMOVAL OF BILCO DOOR & PATCH	\$1,800
DOWNSPOUT RE-ROUTE	\$1,500
REPAIR/REPLACE SLATE ROOF	\$40,000
TOTAL CONSTRUCTION COSTS	\$72,550
15% CONTINGENCY	\$10,883

822 CRANE STREET **RAMESH WEST INDIAN AMERICAN GROCERY**

UPSTAIRS APARTMENTS

UNIT 1 (LARGE 2 BEDROOM APARTMENTS) x 2

Construction

LEAD & ASBESTOS ABATEMENT	\$1,200
DEMOLITION/DEBRIS REMOVAL	\$2,200
FRAMING/SHEETROCK REPAIR	\$5,500
PAINT	\$2,500
FLOOR FINISHES	\$4,500
WINDOWS	\$1,500
ELECTRICAL UPGRADES (INCL. FIXTURES)	\$1,800
MECHANICAL UPGRADES	\$4,500
PLUMBING UPGRADES (INCL. FIXTURES)	\$3,800
CABINETS/COUNTERTOPS/CASEWORK	\$6,500
APPLIANCES	\$2,800
TOTAL CONSTRUCTION COST	\$36,800 x 2 \$73,600

CRANE STREET FACADE IMPROVEMENT PROGRAM

UNIT 2 (SMALL 1 BEDROOM APARTMENT) x 2

Construction

LEAD & ASBESTOS ABATEMENT	\$750
DEMOLITION/DEBRIS REMOVAL	\$1,600
FRAMING/SHEETROCK REPAIR	\$2,500
PAINT	\$1,200
FLOOR FINISHES	\$2,500
WINDOWS	\$800
ELECTRICAL UPGRADES (INCL. FIXTURES)	\$1,000
MECHANICAL UPGRADES	\$3,500
PLUMBING UPGRADES (INCL. FIXTURES)	\$2,800
CABINETS/COUNTERTOPS/CASEWORK	\$5,500
APPLIANCES	\$2,800
TOTAL CONSTRUCTION COST	<u>\$24,950 x 2 \$49,900</u>

COMMON AREAS

General Requirements

ADMINISTRATIVE/PERMIT FEES & PROJECT MANAGEMENT	\$750
LEAD & ASBESTOS TESTING	\$350
ARCHITECT	\$1,000
ENGINEER	NA
TOTAL SOFT COSTS	<u>\$</u>

Construction

LEAD & ASBESTOS ABATEMENT/DEMOLITION	\$750
PAINT	\$1,800
FLOOR FINISH	\$2,500
STAIR REPAIR	\$1,200
SKYLIGHT REPAIRS/REPLACEMENT	\$4,000
TOTAL CONSTRUCTION COST	<u>\$10,250</u>

CONSTRUCTION COST GRAND TOTAL (APARTMENTS)

\$133,750

EXTERIOR RAMESH WEST INDIAN

AMERICAN GROCERY STORE

General Requirements

PERMIT FEES	\$500
LEAD & ASBESTOS TESTING	\$2,500
ARCHITECT & ENGINEERING	\$4,962
INSURANCE	\$500
CONSTRUCTION MGT. & GENERAL PROJECT MGT.	\$3,985
TOTAL SOFT COSTS	<u>\$12,447</u>

Construction

LEAD & ASBESTOS ABATEMENT	\$1,000
DEMOLITION/DEBRIS REMOVAL	\$1,200
CANVAS AWNING w/POLYCARBONATE PROTECTION (VANDAL PROOF)	\$7,500
STOREFRONT/GLAZING	\$12,500

CRANE STREET FACADE IMPROVEMENT PROGRAM

SIGNAGE	\$2,500
EXTERIOR LIGHTING	\$1,200
PREP & PAINT BRICK	\$16,500
NEW QUARRY TILE AT ENTRANCE	\$750
<u>TOTAL CONSTRUCTION COST</u>	<u>\$43,150</u>

CONSTRUCTION COST GRAND TOTAL	\$176,900
15% CONTINGENCY	\$26,535

865 CRANE STREET **COMBO'S FISH FRY**

General Requirements

PERMIT FEES	\$500
LEAD & ASBESTOS TESTING	\$2,500
ARCHITECT & ENGINEERING	\$4,629
INSURANCE	\$500
CONSTRUCTION MGT. & GENERAL PROJECT MGT.	\$3,852
<u>TOTAL SOFT COSTS</u>	<u>\$11,981</u>

Construction

LEAD & ASBESTOS ABATEMENT	\$1,200
DEMOLITION AND FRONT WALL PREP	\$4,800
ALUMINUM COMPOSITE PANEL (ON FAÇADE)	\$6,500
STOREFRONT/GLAZING	\$8,500
CANVAS AWNING w/DOWN LIGHTING	\$6,250
NEW SIDING ALONG SIDES OF BUILDING	\$8,500
COUNTERTOP MODIFICATION & DELI CASE	\$4,500
<u>TOTAL CONSTRUCTION COST</u>	<u>\$40,250</u>
15% CONTINGENCY	\$6,038

902 CRANE STREET **MAMI'S RESTAURANT**

General Requirements

PERMIT FEES	\$1,500
LEAD & ASBESTOS TESTING	\$3,000
ARCHITECT & ENGINEERING	\$12,068
INSURANCE	\$750
CONSTRUCTION MGT. & GENERAL PROJECT MGT.	\$6,023
<u>TOTAL SOFT COSTS</u>	<u>\$23,341</u>

Construction

LEAD & ASBESTOS ABATEMENT	\$1,000
DEMOLITION/DEBRIS REMOVAL	\$11,300
FRAMING	\$14,500
INSULATING	\$7,000
SHEETROCK	\$13,500
STOREFRONT/GLAZING	\$7,500
SIGNAGE	\$1,800
DOORS & HARDWARE	\$6,500
PAINT	\$3,500

CRANE STREET FACADE IMPROVEMENT PROGRAM

FLOOR FINISHES	\$9,500
ELECTRICAL UPGRADES (INCL. FIXTURES)	\$9,500
MECHANICAL UPGRADES	\$8,500
PLUMBING UPGRADES (INCL. FIXTURES)	\$6,000
SEATING	\$8,500
WALK-IN COOLER	\$8,000

TOTAL CONSTRUCTION COST **\$116,600**

902 CRANE STREET **UPSTAIRS APARTMENT**

Construction

LEAD & ASBESTOS ABATEMENT	\$2,000
DEMOLITION/DEBRIS REMOVAL	\$9,800
FRAMING/INSULATING/SHEETROCK REPAIRS	\$12,500
PAINT	\$7,500
FLOOR FINISHES	\$9,500
ELECTRICAL UPGRADES (INCL. FIXTURES)	\$7,500
MECHANICAL UPGRADES	\$6,000
PLUMBING UPGRADES (INCL. FIXTURES)	\$9,500
CABINETS/COUNTERTOPS	\$8,000
APPLIANCES	\$4,500
FIRE ESCAPE OR SPRINKLER SYSTEM	\$7,000
REBUILD STAIRS/RATED ENCLOSURE	\$7,500

TOTAL CONSTRUCTION COST **\$91,300**

902 CRANE STREET **EXTERIOR IMPROVEMENTS**

Construction

LEAD & ASBESTOS ABATEMENT	\$5,000
DEMOLITION/DEBRIS REMOVAL	\$6,000
PREP & PAINT EXTERIOR (FAÇADE)	\$18,500
NEW CEDAR/COMPOSITE SIDING ON 4 TH AVENUE SIDE	\$12,500
NEW SHINGLE ROOF	\$16,750
NEW EPDM ROOF	\$15,500

TOTAL CONSTRUCTION COST **\$74,250**

CONSTRUCTION COST GRAND TOTAL **\$282,150**
15% CONTINGENCY \$42,323

939 CRANE STREET **EL DORADO SPORTS BAR**

General Requirements

ADMINISTRATIVE/PERMIT FEES & PROJECT MANAGEMENT	\$500
LEAD & ASBESTOS TESTING	\$2,500
ARCHITECT & ENGINEERING	\$3,720
INSURANCE	\$500
CONSTRUCTION MGT. & GENERAL PROJECT MGT.	\$3,488
<u>TOTAL SOFT COSTS</u>	<u>\$10,708</u>

CRANE STREET FACADE IMPROVEMENT PROGRAM

Construction

LEAD & ASBESTOS ABATEMENT	\$1,750
DEMOLITION/DEBRIS REMOVAL	\$5,500
STOREFRONT/GLAZING	\$8,000
SIGNAGE	\$2,500
EXTERIOR LIGHTING	\$1,800
WINDOW REPLACEMENT	\$2,500
NEW ENTRANCE DOOR	\$1,800
PREP/PAINT EXISTING SIDING	\$8,500
TOTAL CONSTRUCTION COST	\$32,350
15% CONTINGENCY	\$4,853

944 CRANE STREET G & L LAUNDROMAT

General Requirements

PERMIT FEES	\$500
LEAD & ASBESTOS TESTING	\$2,500
ARCHITECT & ENGINEERING	\$6,417
INSURANCE	\$500
CONSTRUCTION MGT. & GENERAL PROJECT MGT.	\$4,567
TOTAL SOFT COSTS	\$14,484

Construction

LEAD & ASBESTOS ABATEMENT	\$1,000
DEMOLITION/DEBRIS REMOVAL	\$1,500
MAKING LAUNDROMAT HC ACCESSIBLE	\$1,800
STOREFRONT/GLAZING	\$8,500
SIGNAGE	\$1,500
EXTERIOR LIGHTING	\$1,500
NEW FLOOR AND CEILING	\$14,500
PAINT (INTERIOR)	\$2,200
SIDING/SOFFIT REPAIR/REPLACEMENT	\$3,800
NEW ROOF ABOVE LAUNDROMAT	\$19,500
TOTAL CONSTRUCTION COST	\$55,800

APARTMENT UPGRADES

Construction

LEAD & ASBESTOS ABATEMENT	\$2,000
DEMOLITION/DEBRIS REMOVAL	\$1,500
REPAIR/REPLACE APARTMENT STAIRS	\$7,500
NEW FINISHES IN APARTMENT COMMON AREA	\$3,250
NEW DOUBLE HUNG WINDOWS	\$12,500
KITCHEN AND BATH UPGRADES IN EACH APARTMENT (4 UNITS AT \$18,500 EACH)	\$74,000
TOTAL CONSTRUCTION COST	\$100,750

CONSTRUCTION COST GRAND TOTAL	\$156,550
15% CONTINGENCY	\$23,483

CRANE STREET FACADE IMPROVEMENT PROGRAM

1090 CRANE STREET NEW HOPE BANQUET HALL

General Requirements

PERMIT FEES	\$1,500
LEAD & ASBESTOS TESTING	\$3,000
ARCHITECT & ENGINEERING	\$16,107
INSURANCE	\$750
CONSTRUCTION MGT. & GENERAL PROJECT MGT.	\$8,443
TOTAL SOFT COSTS	\$29,800

Construction

LEAD & ASBESTOS ABATEMENT	NA
DEMOLITION/DEBRIS REMOVAL	\$9,000
NEW SIDEWALK AT PARKING LOT	\$5,500
E.I.F.S. REPAIRS	\$5,750
NEW CEILING & LED LIGHT FIXTURES	\$55,000
NEW EPDM ROOF	\$84,000
SIGNAGE	\$2,500
EXTERIOR LIGHTING	\$2,500
NEW COVERED ENTRY	\$22,500
TOTAL CONSTRUCTION COST	\$186,750
15% CONTINGENCY	\$28,012